



**VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION  
AGENDA ITEM**

**MEETING DATE: May 11, 2016** *(continued from March 09, 2016)*

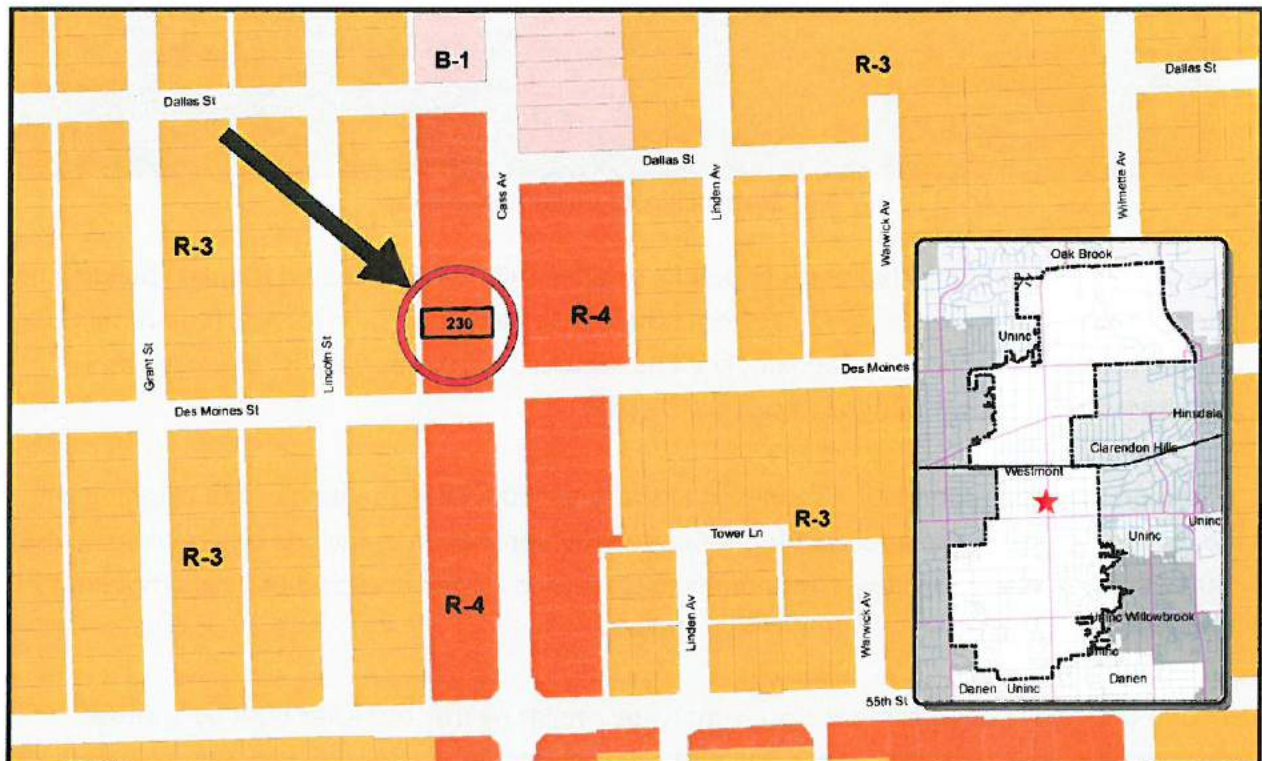
**P/Z 16-004**

**TITLE: SKE Property Investments regarding the property located at 230 South Cass Avenue, Westmont, IL 60559 for the following:**

- (A) Zoning Code Variance request for relief from the minimum square feet per building in an R-4 General Residence District.
- (B) Zoning Code Variance request for relief from the maximum allowable density in an R-4 General Residence District.
- (C) Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.
- (D) Preliminary Plat of Subdivision request to split one lot into two buildable lots in the R-4 General Residence District.

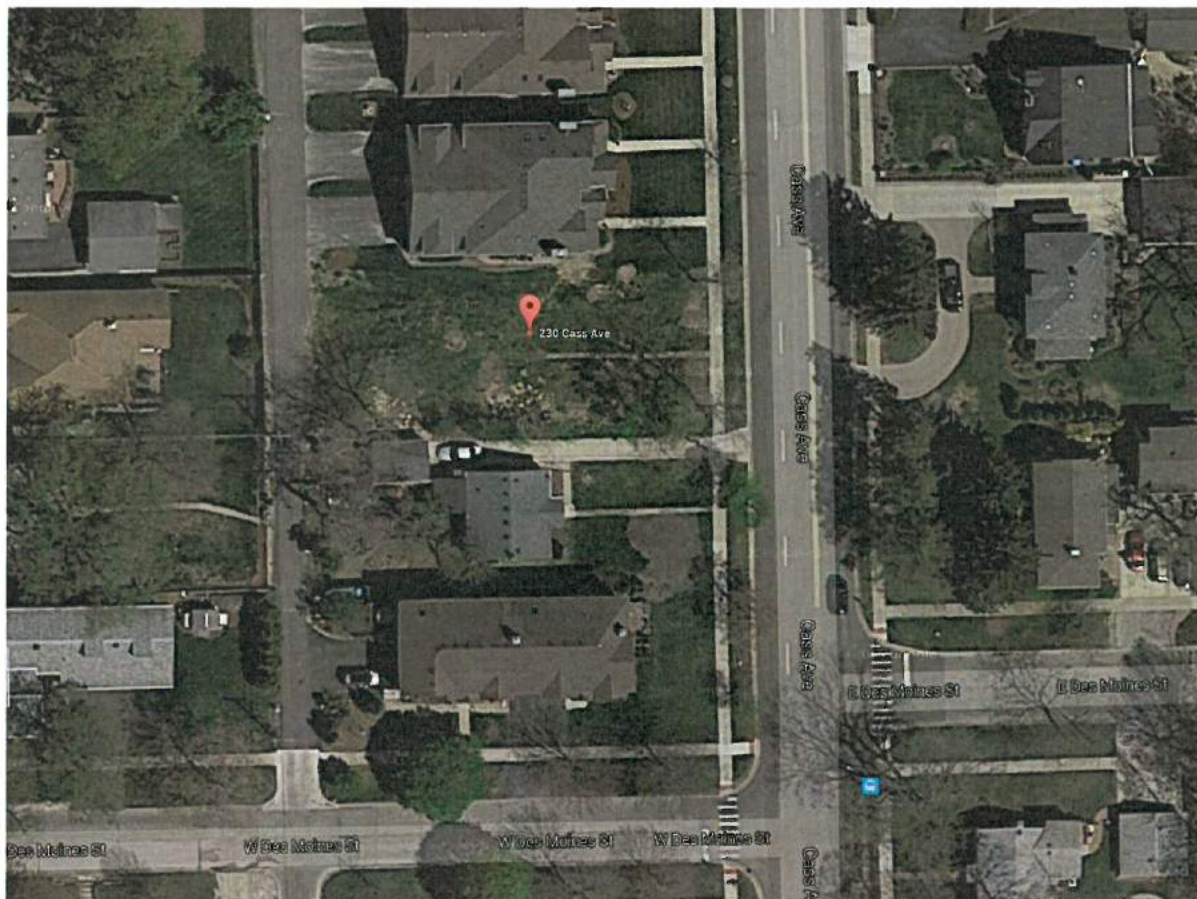
**BACKGROUND OF ITEM**

The subject lot is located on the west side of South Cass Avenue just north of Des Moines Street. Also known as Lot 8 in Block 15 of the Arthur T. McIntosh and Company subdivision, the lot is approximately 60' x 151' and is approximately 9,080 square feet or 0.21 acres.



**230 South Cass Avenue - Zoning Map**

The property is zoned R-4 General Residence District, as are the adjacent properties to the north, south and east. The property across the alley to the west is zoned R-3 Single Family Detached District. The property is currently vacant, and historically had an existing single-family house that was demolished in 2009.



**230 South Cass Avenue Aerial Map**

The petitioner has submitted plans to build a single-family semi-detached (duplex) building on the property, and requests variances from both density and minimum lot size requirements to permit the construction. Additionally, site and landscape plan approval is requested as a requirement of the R-4 General Residence District.

Based on the recommendation proposed at the March 09, 2016 meeting of the Planning and Zoning Commission, the applicant has amended the application to include a two-lot subdivision that will permit the individual townhomes to be sold as owner-occupied units and not limited as exclusive rental units.

This new construction proposal closely matches similar nearby duplexes built by another developer in 2001. Located to the north at 220-222 South Cass Avenue and 224-226 South Cass Avenue, the properties received comparable density variances and subdivision approvals.



**ZONING ANALYSIS**

The subject property is located in the R-4 General Residence District. The R-4 district permits single-family, two-family and multiple family residences. By definition, this construction qualifies as a semi-detached dwelling with two units, each containing three bedrooms.

Minimum lot sizes for the district are defined in Appendix "A", Section 6.04 - Bulk and development standards in residence districts. A summary of requirements and requested density variances are discussed below.



**230 South Cass Avenue as seen from South Cass Avenue**



**230 South Cass Avenue as seen from the alley to the west of South Cass Avenue**



***Density summary for variance requests***

The existing property contains a lot area of 9,080 square feet, or two new lots of 4,540 square feet based on the requested subdivision. Code requires semi-detached dwellings to have a minimum lot size of 12,000 square feet. With the subdivision, each newly created lot will be 7,460 square feet deficient. When considering this in units of dwelling units per acre, code would permit 7.26 du/ac. Based on lot area, the request is for 9.62 du/ac.

Density is further defined in code when considering the number of bedrooms for each allowable unit. The applicant has proposed that each unit have three bedrooms. In order to have two units with three bedrooms per unit, code requires 5,000 square feet per dwelling. Each newly subdivided lot would result in a deficiency of 460 square feet. Again, converting into dwelling units per acre, code requires 8.71 du/ac, and the request is for 9.62 du/ac.

***R-4 Density chart based on new lots of 4,530 square feet***

	<b><i>Required lot area by unit type</i></b>	<b><i>Total required lot area</i></b>
<b>3-bedroom units</b>	5,000 sf/unit (3-bedroom units)	12,000 sf
<b>Total Required:</b>	5,000 sf/unit (Deficient 460 sf) 9.2% unit density variance	12,000 sf required per building (Deficient 7,460 sf) 62.1% lot density variance

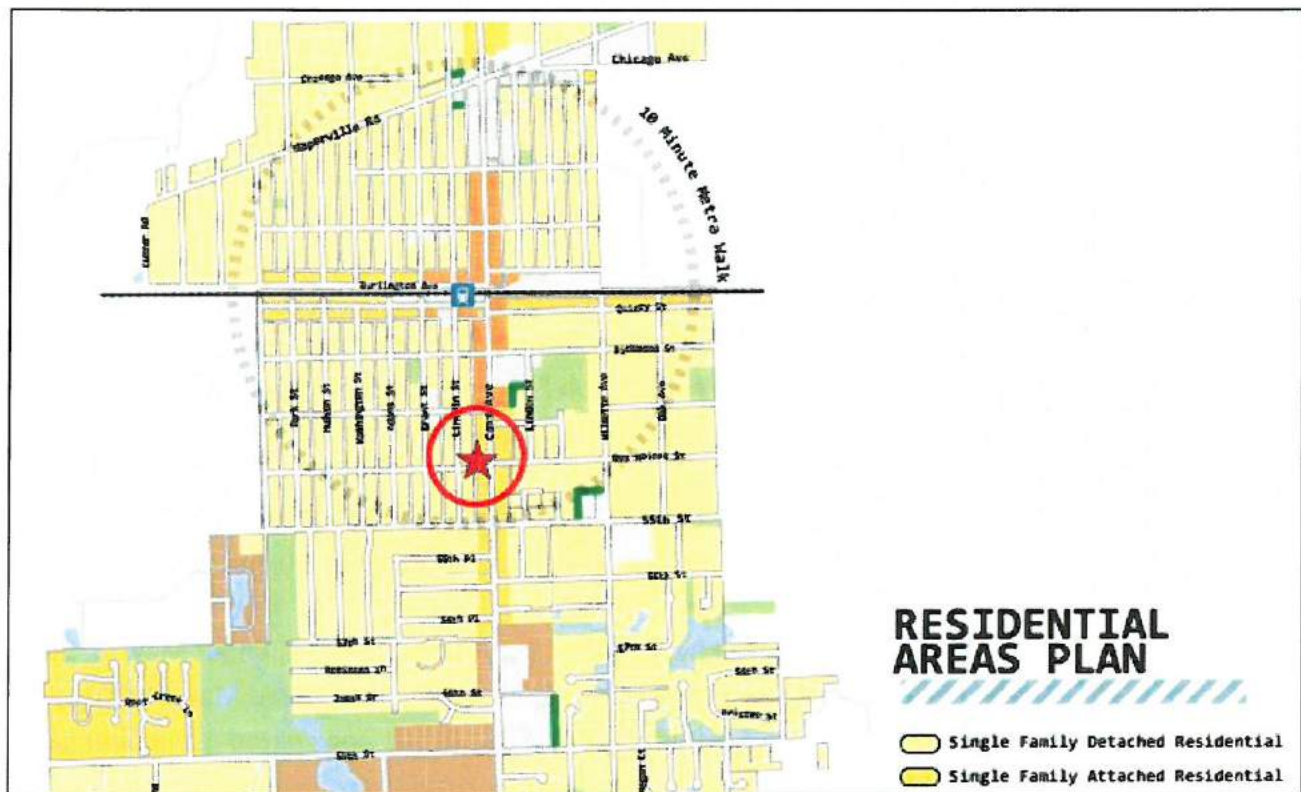


**Adjacent similar development on Cass**

### Comprehensive Plan

The Comprehensive Plan recognizes this area as a Single Family Attached Residential, and specifically states:

“Single-family attached residential areas designated in the Land Use Plan include areas where this residential type can serve as a transitional use between single-family detached residential neighborhoods and more intense non-commercial areas such as busy commercial corridors or business use areas. Single-family attached residential development provides for more dense residential areas, promoting smaller units that may be more desirable for individuals and couples, rather than for families with children.”



Comprehensive Plan Excerpt

## REVIEW COMMENTS

**Engineering Synopsis** - Village Engineer Noriega's comments are attached for your review. The memo comments include requirements for Best Management Practices. A second set of comments addresses the submission for the plat of subdivision.

**Landscaping Synopsis** - Village Landscape Architect Fleck's comments are attached for your review.

## SUMMARY

The applicant requests site and landscape approval, and variances for relief from both minimum lot size and density requirements for a semi-detached dwelling in the R-4 district.

Staff notes that the building elevation has been revised from first submittal to include brick on the entire front facade as had been requested and a revised elevation has been included.

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## DOCUMENTS ATTACHED

1. Public notice as published in the February 24, 2016 edition of the Westmont Progress.
2. Staff review comments from Village Engineer Noriel Noriega dated February 19 and April 16, 2016, and Village Landscape Architect Bob Fleck dated March 05, 2016.
3. Application for variances, with associated application materials, dated February 10, 2016.
  - a. Plat of Survey, prepared by Morrison Surveying Company, dated May 14, 2014.
  - b. Landscape Plan, prepared by Fawn Landscaping and Nursery, Inc., dated March 09, 2015.
  - c. Plat of Easement, prepared by Morrison Surveying Company, dated May 14, 2014.
  - d. Grading Plan, prepared by MARTIN M. Engineering, Inc., dated May 14, 2014.
  - e. Building Plan and Elevations, prepared by IMJ Group, Inc., dated November 18, 2014.
  - f. Preliminary Plat of Subdivision, prepared by Morrison Surveying, Inc., dated April 06, 2016.



**PUBLIC NOTICES**

**LEGAL NOTICE / PUBLIC NOTICE**

**VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION AGENDA**

The Village of Westmont Planning and Zoning Commission will hold its regular meeting on Wednesday, March 09, 2016 at 7:00 P.M., at the Westmont Village Hall, 31 West Quincy Street, Westmont, IL 60559.

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Swearing-in of testifying attendees and reminder to sign in
5. Reminder to silence all electronic devices
6. Approval of Minutes of the February 10, 2016 meeting
7. Open Hearing

**New Business**

PZ 16-004 SKE Property Investments regarding the property located at 230 South Cass Avenue, Westmont, IL 60559 for the following:

- (A) Zoning Code Variance request for relief from the minimum square foot per building in an R-4 General Residence District.
- (B) Zoning Code Variance request for relief from the maximum allowable density in an R-4 General Residence District.
- (C) Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.

PZ 16-005 Village of Westmont regarding a Zoning Code text amendment for the following:

- (A) Amend Appendix A, Section 7.06 of the Westmont Zoning Code regarding the B-3 special development district to allow for residential uses as a special use.

**Adjourn**

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the Village of Westmont, Illinois, 60559 between 8:00 A.M. to 4:00 P.M. Monday through Friday, or telephone (630) 981-6210 voice, or (630) 981-6300 TDD, within a reasonable time before the meeting.

All interested persons in attendance will be allowed to express their views.

**WESTMONT PLANNING AND ZONING COMMISSION**  
Ed Richard, Chairperson

February 24, 2016  
Westmont Suburban Life 1161425

**PUBLIC NOTICES**

**LEGAL NOTICE / PUBLIC NOTICE**

**VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION  
NOTICE OF PUBLICATION**

NOTICE IS HEREBY GIVEN that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, March 9, 2016 at 7:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559.

The purpose of the hearing is to consider a request from SKE Property Investments regarding the property located at 230 South Cass Avenue, Westmont, IL 60559 for the following:

- (A) Zoning Code Variance request for relief from the minimum square foot per building in an R-4 General Residence District.
- (B) Zoning Code Variance request for relief from the maximum allowable density in an R-4 General Residence District.
- (C) Site and Landscaping Plan approval to build a new single-family semi-detached dwelling.

**Legal Description:**

LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTH-EAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9 TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

More Common Location: 230 South Cass Avenue, Westmont, IL 60559

Pin: 09-09-421-018

Village Code(s) Applicable: Appendix "A", Section 6.01 (F)  
Appendix "A", Section 6.04 (A)  
Appendix "A", Section 13.07

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All interested persons in attendance will be allowed to express their views.

**WESTMONT PLANNING AND ZONING COMMISSION**  
Ed Richard, Chairperson

February 24, 2016  
Westmont Suburban Life 1161436

**PUBLIC NOTICES**

**LEGAL NOTICE / PUBLIC NOTICE**

**VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION AGENDA  
NOTICE OF PUBLICATION**

NOTICE IS HEREBY GIVEN that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, March 9, 2016 at 7:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559.

The purpose of the hearing is to consider a request from the Village of Westmont regarding a Zoning Code text amendment as follows:

- (A) Amend Appendix A, Section 7.06 of the Westmont Zoning Code regarding the B-3 special development district to allow for residential uses as a special use.

Village Code(s) Applicable: Appendix A, Article VI, Section 6.02  
Appendix A, Article VII, Section 7.06  
Appendix A, Article XIII, Section 13.11

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the Village of Westmont, Illinois, 60559 between 8:00 A.M. to 4:00 P.M. Monday through Friday, or telephone (630) 981-6210 voice, or (630) 981-6300 TDD, within a reasonable time before the meeting.

All interested persons in attendance will be allowed to express their views.

**WESTMONT PLANNING AND ZONING COMMISSION**  
Ed Richard, Chairperson

February 24, 2016  
Westmont Suburban Life 1161430

**LEGAL NOTICE/PUBLIC NOTICE**

The initial list of textbooks recommended for adoption for the 2016-17 school year in Community High School District 99 are on display at the Administrative Service Center, 6301 Springside Avenue, Downers Grove, IL 60516.

Individuals interested in reviewing the textbooks may do so between the hours of 7:30 a.m. and 4:30 p.m. Monday through Friday, from February 23, 2016 through April 5, 2016. Review time is not available on March 25, 2016.

February 24, 2016  
Downers Grove Suburban Life  
Woodridge Suburban Life  
February 25, 2016  
Westmont Suburban Life  
February 26, 2016  
Hinsdale Suburban Life 1161488

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**Public Works Department  
Engineering Division**

31 West Quincy Street • Westmont, Illinois 60559  
Tel: 630-981-6272 Fax: 630-829-4479

**Date:** February 19, 2016

**To:** Mr. Tom Elliott (Elliottbuilders@gmail.com)

**From:** Noriel Noriega, PE, CPESC  
Assistant Director of Public Works - Village Engineer

**RE:** Proposed Townhome  
230 S. Cass Avenue, Westmont  
Preliminary Review

We are in receipt of the proposed preliminary site improvement plan for the townhome at 230 S. Cass Avenue dated 05/14/2014 prepared by Martin M. Engineering, Inc. Before the Village can recommend any approvals, the following items will need to be addressed:

1. Updated survey should be provided for permitting submittal.
2. The Village's alley is no longer gravel, but asphalt pavement.
3. VCBMP and PCBMP will be required. Design criteria may be taken from the DuPage Appendix E Water Quality Best Management Practices Technical Guidance Manual.
4. Open-cut of Cass Avenue will not be allowed. Please verify storm sewers along Cass Avenue. Our atlas indicates a 12" storm sewer along the west side of Cass Avenue that will eliminate the need to have a proposed storm sewer crossing Cass Avenue.
5. The proposed detention facility will need to be located in a Stormwater Detention Easement. Ensure all downspout and sump pump discharges must be directed to the proposed detention facility.
6. As part of the regular review process, final parkway tree plan approval will be required. Mr. Jon Yeater, Village Forester, may be contacted at 630-981-6285 regarding any of his review comments and for a pre-construction tree survey.

If you have any further questions or concerns, please contact me at 630-981-6295.

Thank you.

**Cc:** Mr. Mike Ramsey - Director of Public Works (via email)  
Mrs. Jill Ziegler, AICP - Community Development Director (via email)  
Mr. Jim Cates - Public Works Supervisor, Water Operations / Facilities Manager (via email)  
Mr. Jon Yeater - Public Works Foreman, Village Forester (via email)  
Mr. Joe Hennerfeind, AICP - Planner II (via email)  
Ms. Melissa Brendle, Municipal Services Office Supervisor (via email)  
Mrs. Rose Gross, Municipal Services (via email)





**Public Works Department  
Engineering Division**

31 West Quincy Street • Westmont, Illinois 60559  
Tel: 630-981-6272 Fax: 630-829-4479

**Date:** April 16, 2016

**To:** Mrs. Jill Ziegler, AICP  
Community Development Director

**From:** Noriel Noriega, PE, CPESC  
Assistant Director of Public Works - Village Engineer

**RE:** Proposed Townhome  
230 S. Cass Avenue, Westmont  
Preliminary Review #1a-Plat

We are in receipt of the following item for the proposed townhome at 230 S. Cass Avenue:

1. Preliminary Plat of Subdivision for Elliott Estates dated 04/16/2016 prepared by Morrison Surveying Co., Inc.

A preliminary review of the submitted documents has no significant issues that we feel would prevent the project from continuing. Our listed comments below can be addressed during the Permit Application Process. It should be noted that additional comments should be anticipated when a full Permit Application Review is performed.

1. Please note, the Plat cannot be finalized and recorded until after the foundation is installed. Depending on the exact placement of the foundation and location of the common wall, the property line may need to be slightly adjusted to accommodate as constructed dimensions.
2. Change the note "26.5' PU&DE" to read "26.5' Stormwater Detention Easement".

If you have any further questions or concerns, please contact me at 630-981-6295.

Thank you.

**Cc:** Mr. Mike Ramsey - Director of Public Works (via email)  
Mrs. Jill Ziegler, AICP - Community Development Director (via email)  
Mr. Joe Hennerfeind, AICP - Planner II (via email)  
Ms. Melissa Brendle, Municipal Services Office Supervisor (via email)  
Mrs. Rose Gross, Municipal Services (via email)

March 5, 2016

**230 S. Cass Ave. Landscape Review #1**

The following comments are in response to landscape plans dated March 9, 2015.

1. The tree survey as submitted shows 10 trees over 6" in diameter proposed for removal. I visited the site late February. No trees exist. Clearly these were recently removed and should be compensated for in the plan. Petitioner would be required to replace 5 trees per ordinance.
2. The parkway tree would not be included in the tree replacement count. 3 are shown, 2 more are required.
3. I ask that the parkway trees be of two different varieties, one should be Swamp White Oak. Swamp White is more tolerant of parkway conditions. The Bur Oak would be a better choice on the property.

Bob Fleck  
Village Landscape Architect.



I.J.M. Group, Inc.

708-404-4451 [imcdonne@yahoo.com](mailto:imcdonne@yahoo.com)  
82 S. La Grange Rd. Suite 205  
La Grange IL. 60525

March 11, 2015

Re: 230 S. Cass Ave

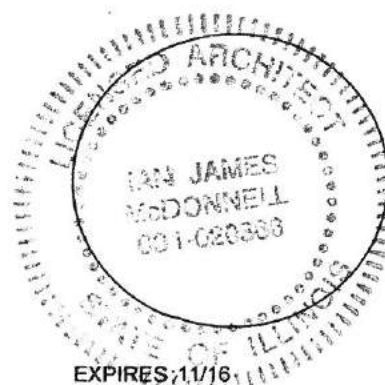
To Whom it may Concern,

Please see below the finding of facts to 230 S. Cass Ave.

- a. Due to the economy and the property value, this property would not yield a reasonable return under the conditions allowed.
- b. the plight of the owner is due to unique circumstances in that the property value is not what it was when he bought it due to the downturn of the economy
- c. the variation if altered will not alter the essential character of the locality, there are similar buildings that needed to go through the same process in order to yield a reasonable return. the essential character of the area is very much in line with what we are proposing

Respectfully Submitted,

  
Ian J. McDonnell  
License # 001-020866



March 11, 2015

Re: 230 S. Cass Ave

To Whom it may Concern,

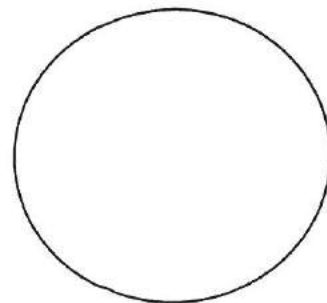
The owner of 230 S. Cass Ave., SKE Properties will be seeking two variances for this property. The property is R-4 Zoning which allows multifamily residential. the lot size is 9076.8 Sq. ft., 60'x151.28. For the Owner to put a multi unit building on this property, he is seeking a variance to the following:

1. The zoning code only allows two units on a property if the property has 6700 sq. ft. per three bedroom units. This property has 4538.4 sq. ft. per unit.
2. The zoning code only allows two units on a property if the total square footage of the property is greater than 12000 sq. ft.. This property has 9076.8 sq. ft.

What the owner is proposing is very similar to other neighboring buildings that were built with same type of restrictions this property has. The owner looks forward to working with the village on this matter

Respectfully Submitted,

Ian J. McDonnell  
License # 001-020866



EXPIRES:11/14



**VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION**  
**FINDINGS OF FACT**

**PUBLIC HEARING OF MARCH 9, 2016**

3/11/16

**P/Z 16-004 – SKE Property Investments regarding 230 S. Cass Avenue, Westmont**

Request for variances to allow relief from the minimum square feet per building and for relief from the maximum allowable density for property in the R-4 General Residence District.

***CRITERIA NO. 1:*** *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.*

**FINDINGS OF FACT:** The highest and best use of this property is a residential duplex development, given the two duplex developments to the immediate north, the proximity of this property to the Central Business District, and given its location along Cass Avenue. In order to meet market demand and yield a reasonable return, these variances are necessary.

***CRITERIA NO. 2:*** *The plight of the owner is due to unique circumstances.*

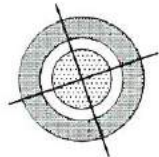
**FINDINGS OF FACT:** Similar density variances were granted for 2 duplex developments to the immediate north. 3 bedroom units are required to meet market demand.

***CRITERIA NO. 3:*** *The variation, if granted, will not alter the essential character of the locality.*

**FINDINGS OF FACT:** The two adjacent properties to the north contain similar residential duplex developments. This proposed duplex is consistent with the underlying zoning and the Village's Comprehensive Use Plan for the area. This duplex development will provide an appropriate transitional use to the Village's Central Business District to the north and is an appropriate use given the property's location on heavily-trafficked Cass Avenue. This proposed development will not result in adverse stormwater, parking or traffic concerns and will not alter the character of the neighborhood.

  7   The Planning and Zoning Commission agrees with the above findings.

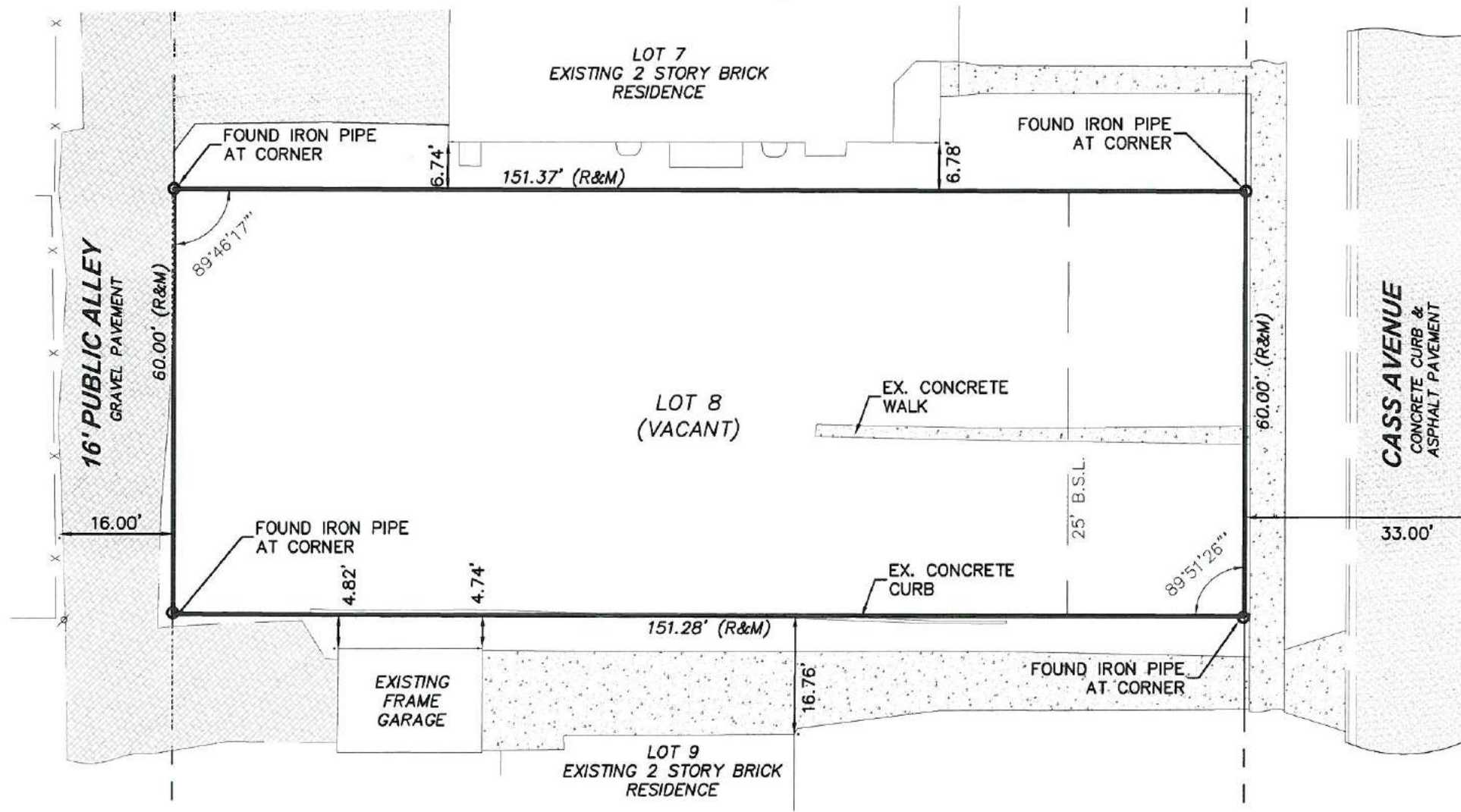
  0   The Planning and Zoning Commission does not agree with the above findings.



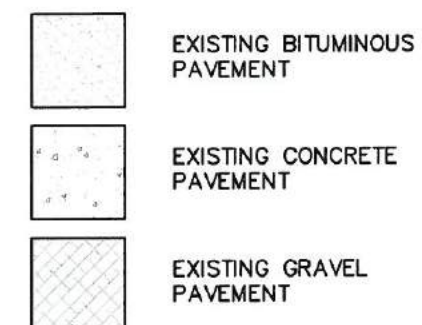
**PLAT OF SURVEY**  
**MORRISON SURVEYING CO., INC.**  
2710 N IL Rt 47, Morris, Illinois 60450  
Phone (815) 942-2620 of FAX (815) 941-2620



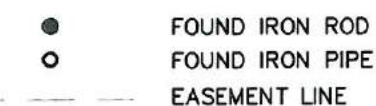
LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.  
PIN# 09-09-421-018



**SURFACE LEGEND**



**LEGEND**



**PROPERTY ADDRESS**

230 S. CASS AVENUE  
WESTMONT, IL

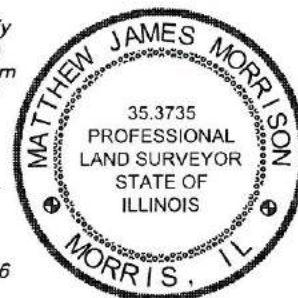
**PROPERTY P.I.N. NUMBER**

09-09-421-018

State of Illinois } s.s.  
County of Grundy }

We, MORRISON SURVEYING CO INC., (PDF License #184-003915) do hereby certify that we have surveyed the property described in the caption to the plat hereon drawn and that this professional service conforms to the current Illinois minimum standards for a boundary survey. All dimensions are in feet and decimal parts of a foot and are correct at a temperature of 68 degrees farenheight. Dimensions shown on buildings are to the outside of buildings.  
Given under my hand and seal at Morris, Illinois. Date: 5/14/14

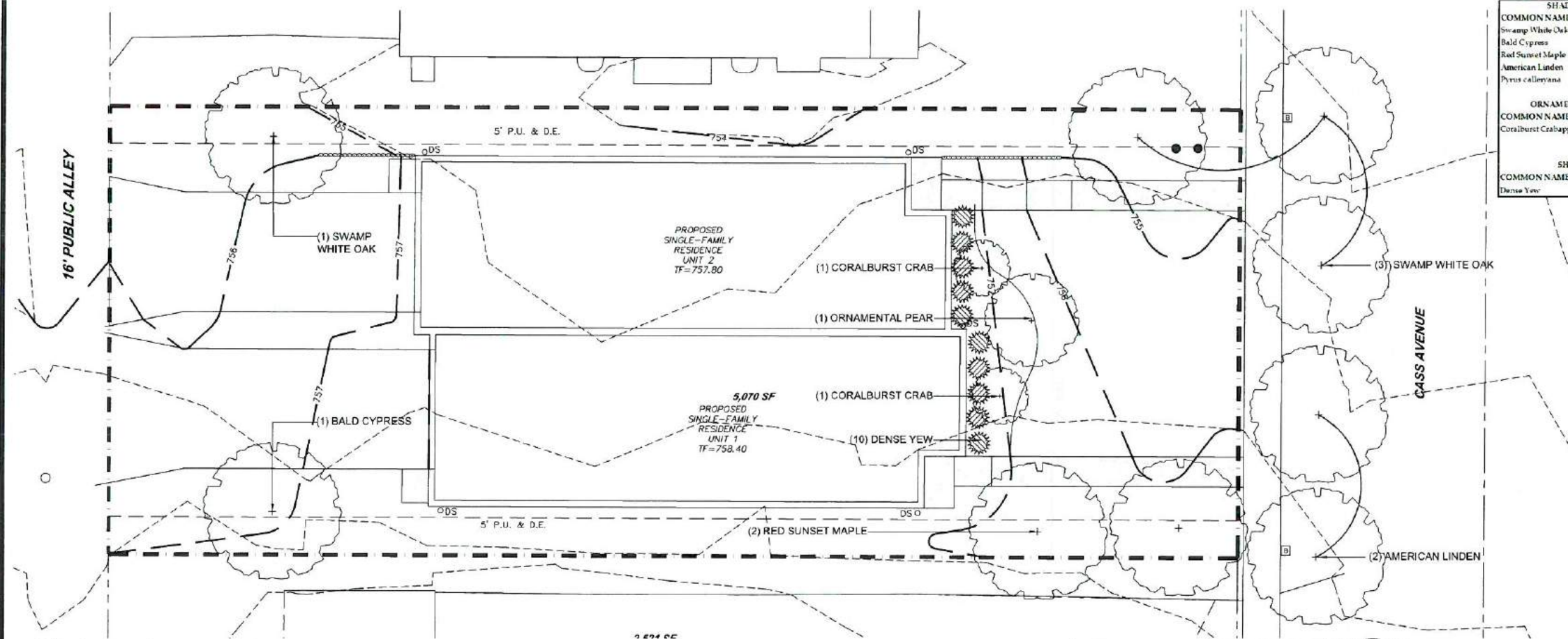
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3735 License Expires 11/30/16



Compare All Dimensions Before Building And Report Any Discrepancies At Once. For Building lines, Easements and other restrictions not shown hereon refer to your Deed, Title Policy, Zoning ordinance, ETC...

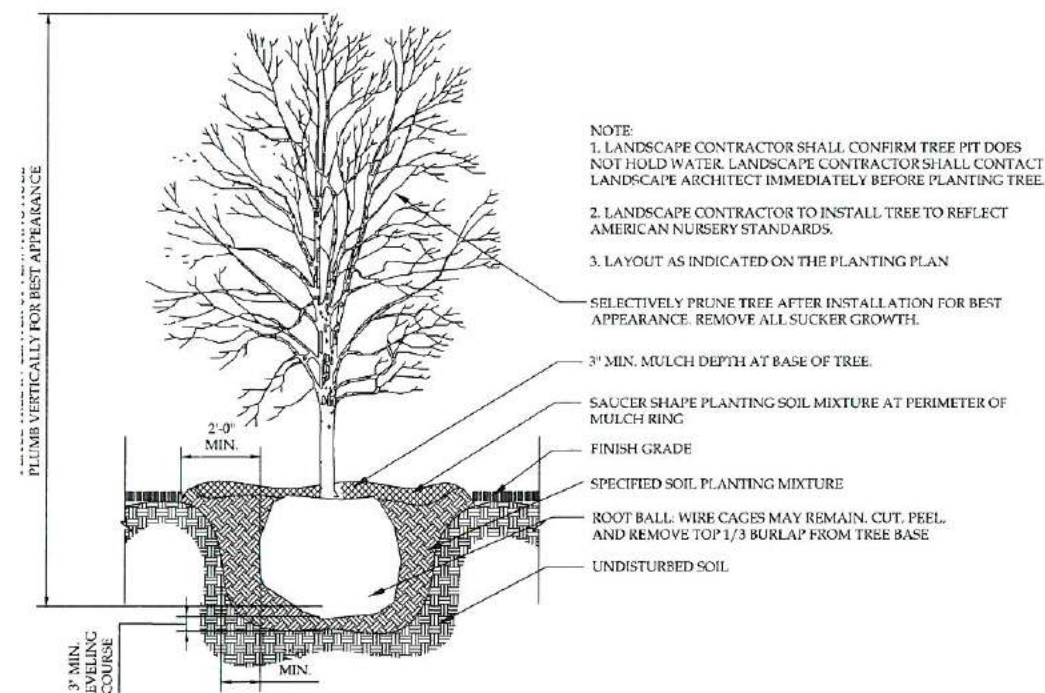
ORDERED BY: ELLIOTT CARPENTRY  
SCALE: 1"=20' JOB NO. 13-182



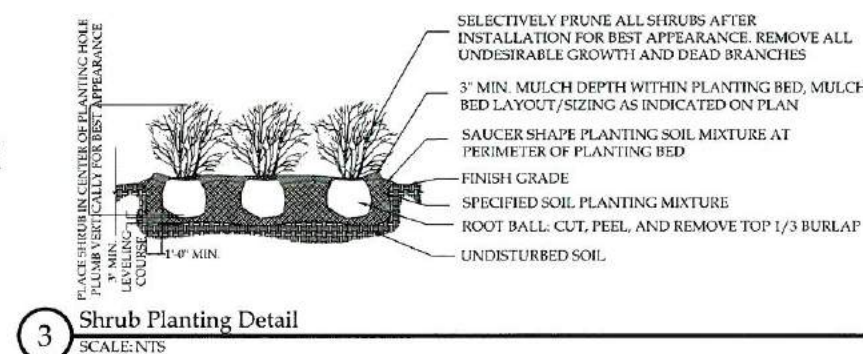


1 Planting Plan  
SCALE: 1/8" = 1'-0"

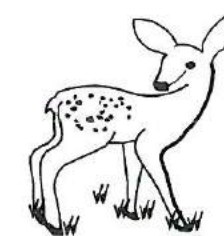
SHADE TREES			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
Swamp White Oak	<i>Quercus bicolor</i>	4	2.5" BB
Bald Cypress	<i>Taxodium distichum</i>	1	2.5" BB
Red Sunset Maple	<i>Acer rubrum 'Red Sunset'</i>	2	2.5" BB
American Linden	<i>Tilia americana</i>	2	2.5" BB
Pyris calleryana	<i>Ornamental Pear</i>	1	2.5" BB
ORNAMENTAL TREES			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
Coralburst Crabapple	<i>Malus 'Coralburst'</i>	2	2.5" BB
SHRUBS			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
Dense Yew	<i>Taxus densiformis</i>	10	24" BB



2 Tree Planting Detail  
SCALE: NTS



3 Shrub Planting Detail  
SCALE: NTS

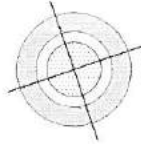


Fawn Landscaping & Nursery, Inc.  
24405 S. LaGrange Rd  
Frankfort, IL 60423  
(815)469-3434 (815)469-5727 FAX  
website: www.fawnlandscaping.com  
email: info@fawnlandscaping.com

230 Cass Ave Residences  
Landscape Plan

scale	AS NOTED
design	SJL
date	March 9, 2015
revision	May 16, 2016
revision	
revision	

sheet  
1  
of 1 sheet(s)



# PLAT OF EASEMENT

MORRISON SURVEYING CO., INC.

2710 N. IL. RT. 47, Morris, Illinois 60450  
Phone (815) 942-2620 of FAX (815) 941-2620  
PIN# 09-09-421-018



LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

## PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WESTMONT, ILLINOIS AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF WESTMONT, INCLUDING, BUT NOT LIMITED TO, COMED, SBC, NICOR, AND COMCAST, AND (FLAGG CREEK RECLAMATION DISTRICT OR DOWNERS GROVE SANITARY DISTRICT) AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, OVER ALL OF THE AREAS MARKED "PUBLIC UTILITY AND DRAINAGE EASEMENT" OR MARKED "P.U. & D.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, OPERATE, AND REMOVE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, INCLUDING ELECTRICITY, SOUNDS AND SIGNALS, GAS PIPELINES, WATER PIPELINES, STORM AND SANITARY SEWERS, AND STORMWATER DRAINAGE PATHS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY, OVER, UPON, ALONG, UNDER, AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY AS NECESSARY. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE ANY TREES, ROOTS, SHRUBS, OR OTHER PLANTS ON SAID INDICATED EASEMENTS, AS MAY REASONABLY BE REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, THAT INTERFERE WITH THE OPERATION OF THE DRAINAGE PATH OR UTILITY, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES.

NO PERMANENT BUILDINGS OR OBSTRUCTIONS SHALL BE PLACED ON SAID INDICATED EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF SAID EASEMENT SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. WHERE SAID INDICATED EASEMENTS ARE USED BOTH FOR DRAINAGE, SEWERS, AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION(S) SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF WESTMONT.

## PROFESSIONAL SURVEYORS CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, MATTHEW MORRISON, REGISTERED ILLINOIS PROFESSIONAL SURVEYOR, HEREBY STATE THAT I HAVE HAD THIS PLAT PREPARED FROM EXISTING PLATS AND RECORD FOR THE PURPOSE OF EASEMENT GRANT. I ALSO CERTIFY THAT THESE LOTS LIE WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF WESTMONT, WHICH HAS ADOPTED A MUNICIPAL PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY ARTICLE II, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED, DATED IN WESTMONT, ILLINOIS THIS 14th DAY OF

MAY, A.D., 2014

BY: Matthew Morrison  
REGISTERED ILLINOIS PROFESSIONAL SURVEYOR # 35.3735



## COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED

FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE \_\_\_\_\_

DAY OF \_\_\_\_\_, A.D., \_\_\_\_\_, AT \_\_\_\_\_

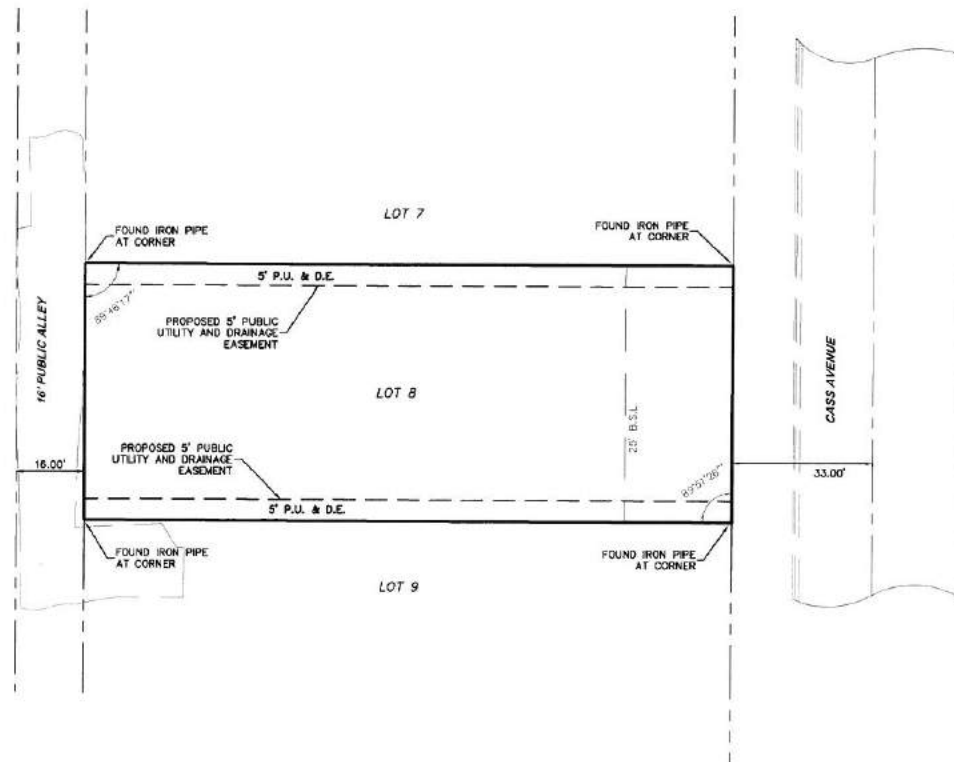
O'CLOCK, AND RECORDED IN BOOK \_\_\_\_\_ OF PLATS ON PAGE \_\_\_\_\_

BY: \_\_\_\_\_  
RECORDER OF DEEDS  
DUPAGE COUNTY

State of Illinois  
County of Dupage ) S.S.

We, MORRISON SURVEYING CO. INC., (PDF License #24-003915) do hereby certify that we have surveyed the property described in the caption to the plat herein shown and that this professional service conforms to the current Illinois minimum standards for a boundary survey. All dimensions are in feet and decimal parts of a foot and are correct at a temperature of 68 degrees Fahrenheit. Dimensions shown on buildings are to the outside of buildings. Given under my hand and seal of Morris, Illinois, Date: 5/14/14

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3735 License Expires 11/30/14



## OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THE UNDERSIGNED, \_\_\_\_\_ AND \_\_\_\_\_ DO HEREBY CERTIFY THAT HE/SHE/they

ARE THE OWNER(S) OR AGENTS OF THE OWNER(S) OF THE PROPERTY DESCRIBED HEREON AND HAVE CAUSED THE SAME TO BE PREPARED FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF EASEMENT GRANT TO THE VILLAGE OF WESTMONT AS SHOWN BY THE PLAT HEREON DRAWN.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_\_

BY: \_\_\_\_\_

## NOTARY PUBLIC

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ WHO IS(ARE) PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) (THEY) SIGNED AND DELIVERED THE SAID INSTRUMENTS AS HIS (HER) (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR \_\_\_\_\_

NOTARY PUBLIC

COMMISSION EXPIRES \_\_\_\_\_

## LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- PROPOSED EASEMENT LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. SANITARY MANHOLE
- EX. INLET
- EX. FIRE HYDRANT
- EX. LIGHT POLE
- EX. RETAINING WALL
- EX. UTILITY POLE
- EX. B-BOX
- EX. FENCE
- EX. TREE

## PROPERTY ADDRESS

230 S. CASS AVENUE  
WESTMONT, IL

## PROPERTY P.I.N. NUMBER

09-09-421-018

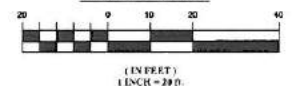
## CURRENT ZONING

R-3: SINGLE FAMILY DETACHED DWELLING

## NOTE:

RETURN TO THE VILLAGE OF WESTMONT  
COMMUNITY DEVELOPMENT DEPARTMENT  
31 W. QUINCY STREET  
WESTMONT, IL 60559

## GRAPHIC SCALE



Compare All Dimensions Before Building And Report Any Discrepancies At Once. For Building Lines, Easements and other restrictions not shown herein refer to your deed, title policy, zoning ordinance, etc.

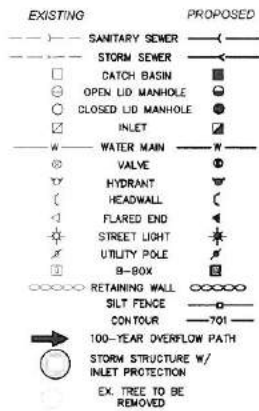
ORDERED BY: ELLIOTT CARPENTRY  
SCALE: 1"=20' JOB NO. 13-182



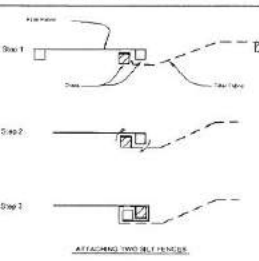
# DETAILED GRADING PLAN

LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.  
PIN# 09-09-421-018

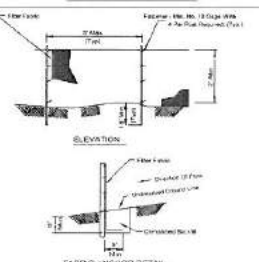
## LEGEND



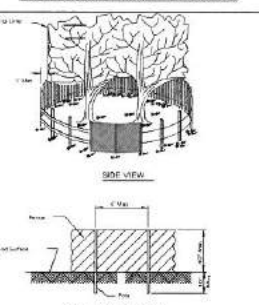
## SILT FENCE PLAN



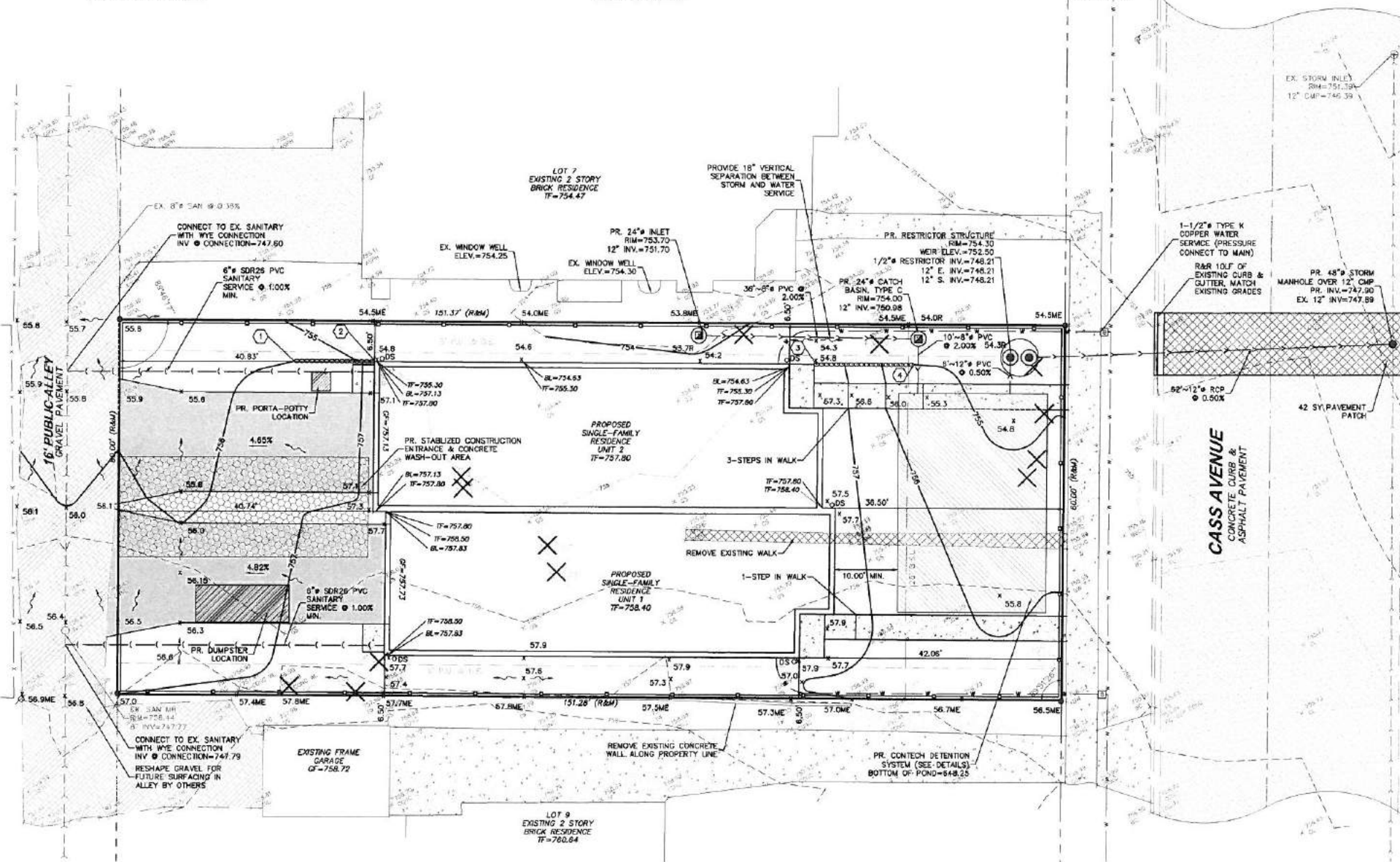
## SILT FENCE PLAN



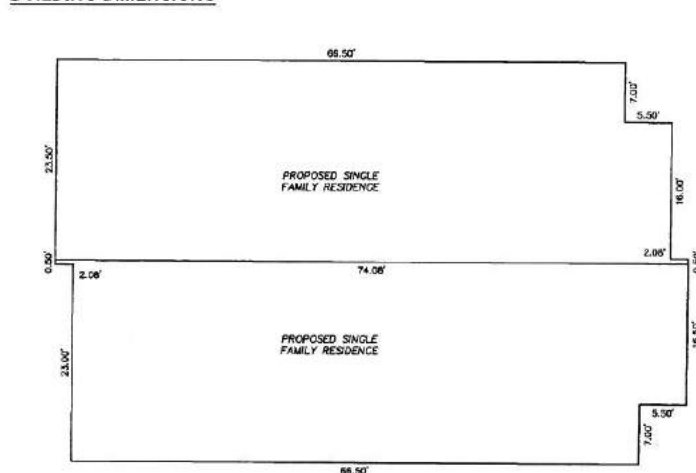
## TREE PROTECTION - FENCING



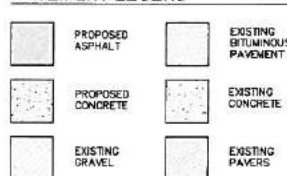
## PROPOSED PLAN



## BUILDING DIMENSIONS



## PAVEMENT LEGEND



## RETAINING WALL CALLOUTS

1. TW=756.0; BW=756.0
2. TW=757.8; BW=754.8
3. TW=757.8; BW=754.8
4. TW=755.0; BW=755.0

## SOIL PROTECTION CHART

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING												
DORMANT SEEDING												
TEMPORARY SEEDING												
SODDING												
MULCHING												

- KENTUCKY BLUEGRASS 90 LBS/AC MIXED WITH PERENNIAL RYEGRASS 30 LBS/AC
- KENTUCKY BLUEGRASS 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS 45 LBS/AC + 2 TONS STRAW MULCH/AC
- SPRING OATS 100 LBS/AC
- WHEAT OR CEREAL RYE 150 LBS/AC
- SOD
- STRAW MULCH 2 TONS/AC

- \* IRRIGATION NEEDED DURING JUNE AND JULY
- \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

## EXISTING COVERAGE

LOT AREA = 9,679 SF  
IMPERVIOUS COVERAGE = 0 SF  
STRUCTURES = 115 SF  
TOTAL IMPERVIOUS COVERAGE = 115 SF

## PROPOSED COVERAGE

LOT AREA = 9,679 SF  
IMPERVIOUS COVERAGE = 3,309 SF  
STRUCTURES = 1,741 SF  
TOTAL IMPERVIOUS COVERAGE = 5,050 SF

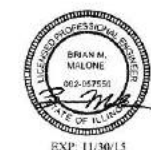
## NOTES:

- TO BE APPLIED PER THE ILLINOIS URBAN MANUAL, LATEST EDITION.
- PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED. WATER REMOVED FROM TRAPS, BASINS AND OTHER WATER HOLDING DEVICES MUST FIRST PASS THROUGH A SEDIMENT CONTROL, AND/OR FILTRATION DEVICE. WHEN DRAINAGEWAY DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G. SEDIMENT TRAP, SEDIMENT BASIN OR OTHER APPROPRIATE MEASURE).
- INLET PROTECTION SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED IMMEDIATELY, OR AS WARRANTED, AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH EROSION MEASURES.
- SCHEDULE OF CONTROL MEASURE IMPLEMENTATION:
  - CONSTRUCT THE APPLICABLE PORTIONS OF THE EROSION AND SEDIMENTATION CONTROLS PRIOR TO SITE CLEARING.
  - CONTROL SITE DEVELOPMENT IN ACCORDANCE WITH THE SPECIFICATIONS OUTLINES IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
  - MAINTAIN INLET PROTECTION, CONSTRUCTION TRAFFIC SURFACES, CLEANING OF STORM STRUCTURES, AND THE LIKE ON A REGULAR BASIS AFTER EACH HEAVY RAIN OR AS OTHERWISE REQUIRED.
- THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:
 

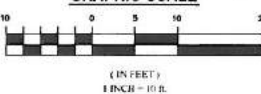
ACTIVITY	START DATE	END DATE
SITE CLEARING	SUMMER 2014	SUMMER 2014
ROUGH GRADING AND CONST.	SUMMER 2014	FALL 2014
FINAL GRADING	FALL 2014	FALL 2014
FINAL LANDSCAPING	FALL 2014	FALL 2014
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION TO DETERMINE IF ANY CONFLICTS EXIST. THE DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO START OF CONSTRUCTION.
- ONE OF THE THREE FOLLOWING PARKWAY TREES WILL BE REQUIRED TO BE PLANTED IN THE PARKWAY OF THE MULTIPLE FAMILY RESIDENCE:
  - GINKGO (GINKGO BILOBA) - MIN. 3" CALIBER
  - GOLDEN LARCH (PSEUDOLARIX AMABILIS) - MIN. 3" HEIGHT
  - HACKBERRY (CELTIS OCCIDENTALIS) - MIN. 3" CALIBER
 PROPOSED TREES SHALL BE A MINIMUM OF 10' FROM THE PROPOSED DRIVEWAY.
- ALL SPOILS FROM THE FOUNDATION AND DETENTION BASIN SHALL BE REMOVED AND SHALL NOT BE STORED ON-SITE.
- FOR UNDERGROUND UTILITY LOCATIONS AND PRIOR TO ANY CONSTRUCTION CONTACT THE ILL. TOLL FREE 1-800-492-0123.
- THE VILLAGE OF WESTMONT STANDARD DETAIL FOR PAVEMENT PATCH, R-4.0 IS TO BE FOLLOWED FOR THE STORM & SANITARY SEWER CONNECTIONS. ALSO, THE EDGES OF THE PATCH ARE TO BE CUT, AND THE VILLAGE OF WESTMONT POLICE DEPARTMENT IS TO BE CONTACTED PRIOR TO THE PATCH INSTALLATION. ANY DISTURBANCE TO THE RIGHT-OF-WAY DUE TO THIS CONNECTION MUST BE SUBSTANTIALLY RESTORED WITHIN 15 DAYS OF THE CONNECTION.
- EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY MATT MORRISON SURVEY COMPANY. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, CONTRACT, TITLE POLICY, ZONING ORDINANCE, ETC.
- BENCHMARK:
  - DGN0046: LOCATED ON THE EAST SIDE OF FAIRVIEW AVE., 5.80' EAST OF THE EDGE OF WALK ALONG FAIRVIEW AVE. & 63.4' NORTH OF THE NORTH EDGE OF BRICK SIDEWALK TO PAVILION. ELEV = 733.22 FT.
  - DGN0001: LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF ROUTE 34 AND CASS AVENUE. STATION IS 34' EAST OF THE CENTERLINE OF OGDEN AVENUE, AND 5.8' WEST OF THE WEST EDGE OF A CONCRETE SIDEWALK ALONG CASS AVENUE. MONUMENT IS A BRONZE DISK IN THE WEST SIDE OF A CONCRETE TRAFFIC SIGNAL BASE. ELEV = 746.25.
- SITE BENCHMARK:
  - "A" CUT-IN SIDEWALK AT THE EXTENSION OF THE NORTH PROPERTY. ELEV = 754.00 FT.
- CURRENT LOT ZONING - R-3
- BUILDER:
  - ELLISOTT CARPENTRY
  - (708) 975-3675

## ABBREVIATIONS:

- XXX.XME MATCH EXISTING ELEVATION
- IF TOP OF FOUNDATION
- ME MATCH EXISTING
- GF GARAGE FLOOR
- DS DROP SIDING ELEVATION
- BL BRICK LEDGE ELEVATION
- XXX.X SPOT GRADE W/ FLOW DIRECTION
- NOTE: ADD 700 TO ALL PROPOSED SPOT GRADES



## GRAPHIC SCALE



## WESTMONT GRADING PLAN

230 S. CASS AVENUE  
WESTMONT, ILLINOIS

## DETAILED GRADING PLAN

DRAWN BY: SRW  
SCALE: 1"=40'  
JOB NUMBER: 13-182  
DATE: 05/14/14

CHECKED BY: BMM  
DATE: 05/14/14  
SHEET: 1 OF 3

MARTIN M. Engineering, Inc.

CONSULTING AND SITE DESIGN CIVIL ENGINEERS

20123 GAYWOOD DRIVE

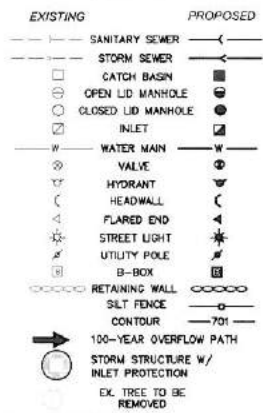
MOKENA, ILLINOIS 60448

VOICE: (708) 995-1322

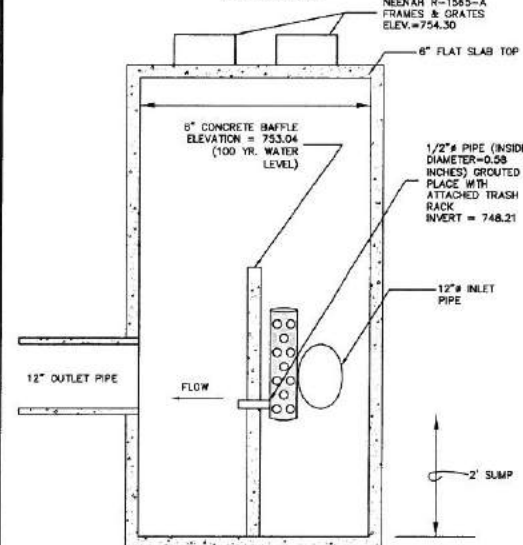
FAX: (708) 995-1304

LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE  
SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11,  
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.  
PIN# 09-09-421-018

**LEGEND**



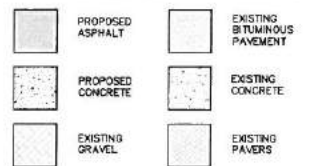
NOT TO SCALE



ON-SITE AREA 003 = 9,079 SF  
(0.21 AC.)

OFF-SITE AREA 001 = 10,119 SF  
(0.23 AC.)

### PAVEMENT LEGEND



**ABBREVIATIONS:**

XXX.XME	MATCH EXISTING ELEVATION
TF	TOP OF FOUNDATION
ME	MATCH EXISTING
GF	GARAGE FLOOR
DS	DROP SIDING ELEVATION
BL	BRICK LEDGE ELEVATION

XXX.X SPOT GRADE W/ FLOW DIRECTION  
NOTE: ADD 700 TO ALL PROPOSED  
SPOT GRADES

**NOTE:**

THE EXISTING OFF-SITE TRIBUTARY AREAS WHERE DERIVED FROM THE DUPAGE COUNTY 1-FOOT CONTOUR MAPS LOCATED ON THE COUNTY WEBSITE.

## DIRECTIVE NO. 1

**REQUIRED NOTES FOR ANY PUBLIC  
IMPROVEMENT WORK**

The general notes listed below need to be included on the project plans where applicable, whenever Village approval is required:

7. Construction operations shall be confined to the period beginning at 7:00 A.M. and ending at 7:00 P.M., except for emergency situations. The contractor shall be responsible for obtaining and displaying inspection tickets every forty-fourth (44) hours prior to performing any work.
8. Construction of pavement, curb and gutter, and showings shall conform to the Illinois Department of Transportation's "Standard Specifications for Road and Bridge Construction", latest edition, and the Standard Specifications for Village of Westminster, Illinois", latest revision.
9. All storm sewer and waterline construction shall be in conformance with the latest edition of the "Standard Specifications for Water and Sewer Lines Construction".
10. All areas disturbed by the construction shall be restored to equal or better condition than the original surface condition, with a maximum of 4" (4 inches) of topsoil and soil.
11. The contractor is advised that mail and debris must not be deposited on the adjacent highways. Any dirt and debris accumulated on the pavement shall be cleaned by the contractor within 48 (48) hours of the incident.
12. New Portland Cement Concrete sidewalks shall be a minimum of 5" (5 inches) thick, using Class C-55 concrete. Expansion joints shall be located at 10' (10 feet) intervals. All concrete expansion joints shall be spaced approximately five (5) feet apart. No more than six (6) feet high and no less than four (4) feet high. If roadwork forms are used, 2 x 4 shall be used to brace the forms and 2 x 4's shall be used to brace the forms.
13. New Portland Cement Concrete Curbings and Curb and Gutter shall be six (6) inch concrete. Proposed expansion joints 24" apart in thickness shall be spaced a maximum of fifty (50) feet apart. Formed or cast in place concrete curbings shall be a maximum of ten (10) feet apart and sealed with a silicone sealant.
14. Prior to excavation and grading erosion control measures shall be provided whenever runoff is likely to leave the site or enter the public storm drainage system.
15. Where stormwater detention is being provided as part of the plans, a permit to detain is required. A notification permit will be required prior to final engineering approval indicating that the required amount of detention and release rate has been provided.
16. As the completion of the project up to (2) sets of Record Drawings are to be submitted to the Village showing the location of all utilities, elevations, and an "As-Built" survey of the location in connection with the project. The contractor shall be responsible for providing and confirming the volume of the "As-Built" drawing taken. Upon approval of the Record Drawings, the contractor shall submit to the Village, within (2) calendar months of the date of completion of the approved Record Drawings, are to be submitted to the Village. This information shall be in AutoCAD (.dwg) format, or .dxf and available, 1/1 format (1/1).

**WESTMONT GRADING PLAN**

230 S. CASS AVENUE  
WESTMONT, ILLINOIS

**STORMWATER PLAN**

	SCALE: 1"=10'
	JOB NUMBER:

MARTIN M. Engineering, Inc.  
CONSULTING AND SITE DESIGN CIVIL ENGINEERS

20123 OAKWOOD DRIVE  
MOKENA, IL 60448

VOICE: (708) 995-1323  
FAX: (708) 995-1384

DRAWN BY: SRW	CHECKED BY: BMV
---------------	-----------------

SCALE: 1"=10'	DATE: 05/14/14
---------------	----------------

JOB NUMBER:	SHEET:
-------------	--------

13-182	2 OF 3
--------	--------

A	DATE	DESCRIPTION







GEOGRAPHIC DESIGN CRITERIA:  
ROOF SNOW LOAD- 34 LBS.  
WIND SPEED 90 MPH  
SEISMIC DESIGN CATEGORY - B  
FROST LINE DEPTH - 42"  
WINTER DESIGN TEMPERATURE = - 10  
DEGREES FAHRENHEIT

NOTE: FLASHING (METAL OR PLASTIC) AND KEEPS  
HOLES ABOVE ALL EXTERIOR DOORS AND  
WINDOWS OPENINGS IN THE MASONRY VENEER.  
EACH STRUCTURE TO WHICH A STREET NUMBER  
HAS BEEN ASSIGNED SHALL HAVE SUCH NUMBER  
DISPLAYED IN A POSITION EASILY OBSERVED  
AND READABLE FROM THE PUBLIC WAY. ALL  
NUMBERS SHALL BE IN ARABIC NUMERALS AT  
LEAST 4" HIGH 1/2" STROKE  
PROVIDE A MAX. U-VALUE OF .32 FOR ALL DOORS  
AND WINDOWS.

THE CONTRACTOR MUST CHECK ALL DIMENSIONS,  
DETAILS AND JOIST CONDITIONS AND BE  
RESPONSIBLE FOR THEM. THIS FIRM SHALL NOT  
BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS  
OR MEANS BY THE CONTRACTOR AND OR ANY  
SUBCONTRACTOR AND THEIR TRADESMEN.

ALL TRADES MUST CONFORM TO CURRENT EXISTING  
CODES APPLYING TO THIS PROJECT. CONTRACTORS  
TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE  
EXECUTING ANY WORK. REPORT ANY DISCREPANCIES  
AT ONCE. DO NOT SCALE DRAWINGS USE FIGURED  
DIMENSIONS ONLY.

ALL BEDROOMS SHALL HAVE AT LEAST ONE  
"EGRESS WINDOW" SEE CODE BOOK.

UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL  
BE INSULATED TEMPED SAFETY GLASS PER  
ANSI SP5.

EXTERIOR WINDOWS AND GLASS DOORS SHALL  
BE TESTED BY AN APPROVED INDEPENDENT  
LABORATORY AND BEAR A LABEL IDENTIFYING  
MANUFACTURER, PERFORMANCE  
CHARACTERISTICS AND APPROVED INSPECTION  
AGENCY TO INDICATE COMPLIANCE WITH  
ANSI/AIAA-9000000. IT SHALL BE DESIGNED TO  
A MINIMUM DESIGNED PRESSURE OF 30 LBS/FT.

ROOF LIVE LOAD =	30 PSF
HORIZONTAL WIND LOAD (NO MPN 3-SEC. GUST) LESS THAN 30' =	15 PSF
30' TO 40' =	20 PSF
BALCONIES AND DECKS (EXTERIOR) =	60 PSF
GARAGES (PASSENGER CARS ONLY) =	50 PSF
ATTICS (NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3/12) =	10 PSF
ATTICS (LIMITED ATTIC STORAGE) =	20 PSF
DWELLING UNITS (EXCEPT SLEEPING ROOMS) =	40 PSF
SLEEPING ROOMS =	30 PSF
STAIRS =	40 PSF
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY 6 PSF	

#### GENERAL NOTES

1. INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL CONDITIONS FOR CONSTRUCTION", AIA DOCUMENT A-201, ARTICLE 1  
THRU 14 INCLUSIVE.
2. GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CITY, STATE AND NATIONAL CODES AND ORDINANCES.
3. MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS  
CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
4. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES AND PROCEDURES OF THE OWNER.
5. ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS AND  
RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
6. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS,  
MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL  
COMPLETION OF THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR SHALL FURNISH ALL OF THOSE ITEMS AND LABOR  
REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. ACCEPTANCE BY THE OWNER SHALL BE CONDITIONS OF THE CONTRACT.
7. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY  
THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING  
WITH THE WORK.
8. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATION, AND REPAIR  
OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
9. DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF  
WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
10. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.

#### DIMENSIONS

11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. THESE DRAWINGS MAY HAVE BEEN REPRODUCED AT A SIZE  
DIFFERENT THAN ORIGINALLY DRAWN. DO NOT SCALE DRAWINGS.
12. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL PARTITION LAYOUTS AND SHALL REPORT ANY DISCREPANCIES  
TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY FRAMING.
13. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND  
CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.

#### COORDINATION

14. REFER TO SITE SURVEY FOR SITE INFORMATION. CONTRACTOR TO VERIFY ALL INFORMATION.
15. THE GENERAL CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING FOR INSTALLATION OF HANDRAILS,  
MILLWORK, WALL PANELS, WINDOW TREATMENTS, GRAB BARS AND ALL OTHER SURFACE MOUNTED COMPONENTS.
16. THE GENERAL CONTRACTOR'S SUBCONTRACTORS SHALL COMPLETELY HOOK-UP AND CONNECT ALL EQUIPMENT AND FURNISH ALL  
NECESSARY APPENDAGES. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL.
17. THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL  
CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER  
MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF  
THIS PROJECT.
18. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEAD ROOM  
AND AVOID OBSTRUCTIONS.
19. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE ENTIRE SITE AS REQUIRED BY THE  
CITY OF CHICAGO TO BE PROTECTED AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.

#### CODES AND STANDARDS

20. INTERIOR FINISHES SHALL NOT EXCEED CLASS 1, 0-25 FLAMESPREAD, 200 SMOKE.
21. RECESSED FIXTURES IN INSULATED CEILINGS MUST BE ENERGY APPROVED TYPE.
22. PROVIDE 1" MIN. CLEARANCE BETWEEN "B" LABEL FLUES AND ANY COMBUSTIBLE MAT'L PROVIDED THAT THE FIRST 3'-0" ABOVE THE  
FURNACE HAS 3" CLEARANCE.
23. LOW TEMPERATURE CHIMNEYS SHALL EXTEND TO A HEIGHT NOT LESS THAN 3'-0" ABOVE THE ROOF AT THE POINT OF INTERSECTION  
AND NOT LESS THAN 2'-0" ABOVE ANY ROOF WITHIN 10'-0" OF SUCH CHIMNEY EXCEPT CHIMNEYS ON A ROOF SLOPED MORE THAN 15  
DEGREES MAY EXTEND NOT LESS THAN 2'-0" ABOVE THE RIDGE.
24. HANDRAIL HEIGHTS OR STAIRS SHALL BE 2'-10" ABOVE THE FLOOR. HANDRAIL HEIGHTS AT LANDING SHALL BE 3'-0" A.F.F.
25. ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE EASILY OPENED WITHOUT USE OF A KEY FROM  
THE SIDE FROM WHICH EGRESS IS MADE.
26. ALL GLAZED DOORS, ALL SKYLIGHTS AND ALL GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR  
WHERE THE SILL OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS. NO  
WINDOW SILLS SHALL HAVE A SILL HEIGHT OF LESS THAN 2'-0" ABOVE THE FLOOR UNLESS NOTED OTHERWISE.
27. ALL OPENINGS, IN FIRE RATED FLOORS AND WALLS INCLUDING SPACES BETWEEN DUCTS, PIPES, CONDUIT, ETC. SHALL BE CLOSED  
OFF BY AN APPROVED FIRE SAFING MATERIAL TO MAINTAIN FIRE RATING CONTINUITY OF THE FIRE RATED FLOOR AND WALL  
CONSTRUCTION. ALL OPENINGS AND PENETRATIONS SHALL BE SEALED TO PREVENT THE PASSAGE OF SMOKE AND FLAMES IN FIRE  
RATED ASSEMBLIES.



FRONT ELEVATION

3/16" = 1'-0"

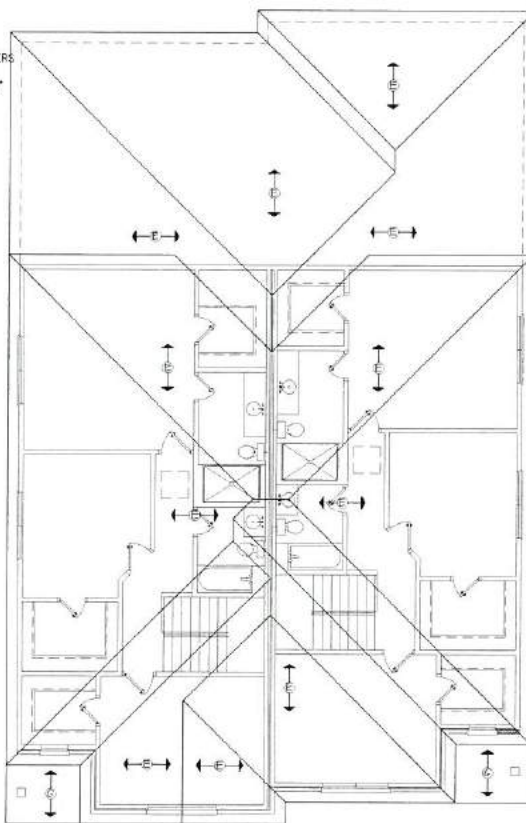
- NOTE:
1. ALL FLASHING SHALL COMPLY WITH SHACMA RECOMMENDATIONS FOR FLASHING.
  2. CONTRACTOR SHALL LOCATE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED.
  3. INSTALL ICE AND WATER SHIELD 2'-0" FROM INTERIOR OF WALL TO GUTTER.
  4. FLASHING AT ALL ROOF VALLEYS.
  5. ANY RAFTER SPANS OVER 15' SHALL BE 2x10'S OR PURLIN WALL SHALL BE BUILT TO SUPPORT RAFTERS.
  6. PROVIDE COLLAR TIES FOR ROOF RAFTERS @ 48" O.C.
  7. VENTILATION OPENING SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/2" MIN. TO 1" MAX OPENINGS.

#### NOTE:

1. ALL FLASHING SHALL COMPLY WITH SHACMA RECOMMENDATIONS FOR FLASHING.
  2. CONTRACTOR SHALL LOCATE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED.
  3. INSTALL ICE AND WATER SHIELD 2'-0" FROM INTERIOR OF WALL TO GUTTER.
  4. FLASHING AT ALL ROOF VALLEYS.
  5. RAFTERS SPACING MORE THAN 15'-0" MUST BE 2x10 CORST. OR 2x8'S WITH A PURLIN WALL.
- GUTTERS AND DOWNSPOUTS MUST DISCHARGE A MINIMUM OF FIVE FEET(S) AWAY FROM THE BUILDING IN ACCORDANCE WITH THE APPROVED GRADING PLANS OR TO AN APPROVED DRAINAGE SYSTEM.

#### RAFTER SCHEDULE

(A)	2 x 12 @ 16" O.C. (HEM-FR (N))	MAX SPAN OF 22'-3"
(B)	2 x 12 @ 17" O.C. (HEM-FR (N))	MAX SPAN OF 25'-9"
(C)	2 x 10 @ 16" O.C. (S.P.F. #2)	MAX SPAN OF 16'-0"
(D)	2 x 10 @ 17" O.C. (S.P.F. #2)	MAX SPAN OF 21'-0"
(E)	2 x 8 @ 15" O.C. (S.P.F. #2)	MAX SPAN OF 15'-11"
(F)	2 x 8 @ 12" O.C. (S.P.F. #2)	MAX SPAN OF 17'-5"
(G)	2 x 6 @ 10" O.C. (S.P.F. #2)	MAX SPAN OF 11'-11"
(H)	2 x 6 @ 12" O.C. (S.P.F. #2)	MAX SPAN OF 13'-9"



ROOF PLAN

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

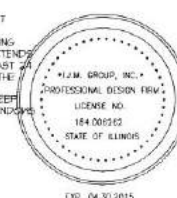


REAR ELEVATION

1/8" = 1'-0"

PROVIDE ICE BARRIER THAT CONSISTS OF AT  
LEAST TWO LAYERS OF UNDERLAYMENT  
CEMENTED TOGETHER OR OF A SELF-ADHERING  
POLYMER MODIFIED BITUMEN SHEET, THAT EXTENDS  
FROM THE EAVES EDGES TO A POINT AT LEAST 24  
INCHES INSIDE THE EXTERIOR WALL LINE OF THE  
BUILDING.  
NOTE: FLASHING (METAL OR PLASTIC) AND KEEPS  
HOLES ABOVE ALL EXTERIOR DOORS AND WINDOWS  
OPENINGS IN THE MASONRY VENEER.

NOTE: ALL ROOF CORNERS  
FLASHING MUST BE BENT AND  
CUT INTO BRICK MORTAR  
JOINTS.



#### CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY  
DIRECT SUPERVISION, AND THAT THEY, TO THE BEST OF MY KNOWLEDGE,  
COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE  
GOVERNING BODY HAVING JURISDICTION.

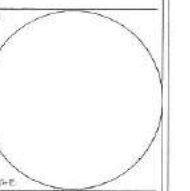
IAN MCCONNELL - ILLINOIS REGISTRATION NO. 001-020666  
LICENSE EXPIRES: 11.30.2014 DATE SIGNED: \_\_\_\_\_

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2. BRICK SHALL BE AS APPROVED BY THE OWNER & ARCHITECT.

3. FACE BRICK SHALL CONFORM TO "ASTM" C-216 (GRADE SW) AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 8,000 P.S.I. ALL OTHER BRICKS SHALL CONFORM TO "ASTM" C-62 AND HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. OR OVER.

4. CONCRETE MASONRY UNITS (CMU) SHALL BE AS INDICATED ON THE PROJECT DRAWINGS. LONG LEARNING INDOOR CMU SHALL BE 16" HIGH BY 8" DEEP. ANCHOR STRAP SHALL BE "HECKMAN" J-3750-11 [12 GA. X 3/4" X 4" LONG] WITH #3/4 REBAR TIE (1/4" DIA. @ 4" LONG). ANCHOR STRAP AND TIE TO BE HOT-DIPPED GALVANIZED AND SHALL MEET "ASTM" A-592, CLASS C-60. BRICK SHALL BE 8" HIGH BY 4" DEEP. ALL BRICKS SHALL BE HOT-DIPPED GALVANIZED AND SHALL MEET "ASTM" A-592, CLASS C-60.

5. REINFORCING SHALL BE PREFABRICATED UNDER-SHIRT MASONRY TO "TIE-OUT" WALLS & SHALL MEET "ASTM" A-153, CLASS B-2.

6. MORTAR SHALL CONSIST OF PORTLAND CEMENT, HYDRATED LIME AND SAND IN ACCORDANCE WITH "MORTAR" C-270 FOR TYPE II MORTAR. ALL MORTARS TO HAVE "WATER-PROOF AGENT" MIXED INTO IT. MORTAR COLOR TO BE DETERMINED BY ARCHITECT.

7. EXPANSION AND CONTRACTION JOINT FILLERS SHALL BE HOT-FORMED RUBBER. THE EXTENT AND LOCATION SHALL BE AS INDICATED BY ARCHITECT.

8. WEED STRIP SHALL BE COTTON SHAG CHORD, INSTALLED IN EXTERIOR WALLS AND LINTELS AT EXTERNALLY FOUR INCH SPACING. WALL SPACING AND VERTICALLY UP THE WALL 1/2" MINIMUM. MORTAR TO CLEAN WALLS FROM TOP OF WEED STRIP TO TOP OF WEED STRIP. 4" SPACING. REINFORCING SHALL BE PLUMB, WITH A TOLERANCE OF PLUS OR MINUS ONE QUARTER (1/4") INCH FOR THE HEIGHT (TOP TO BOTTOM) OF THE WALL.

9. LAY ALL PLUMB AND TRUE WITH CORNER LEVEL. ACCURATELY SPLICED AND COORDINATED WITH OTHER WORK. ALL JOINTS TO BE PLUMB AND TRUE WITH CORNER LEVEL. ALL JOINTS TO BE PLUMB, WITH A TOLERANCE OF PLUS OR MINUS ONE QUARTER (1/4") INCH FOR THE HEIGHT (TOP TO BOTTOM) OF THE WALL.

10. EXPOSED JOINTS SHALL BE TOoled AND BRUSHED.

11. SETTING AND FINISHING OF ALL MASONRY TO FALL HAVE JOINTS DO NOT FURNISH BOND. DO NOT FURNISH BOND.

12. CRACK ALL MASONRY WORK REVEALED IN THIS SECTION. PROTECT ADJOINING WORK FROM DAMAGE FROM ALL CLEANING OPERATIONS.

13. CLEAN ALL JOINTS AT JAMBS, HEADS, FOUNDATIONS AND SILLS. POINT JOINTS AS NECESSARY INCLUDING POCKETS AND VOID.

14. PROTECT ALL WORK FROM FREEZING DURING CONSTRUCTION & UP TO 48 HOURS AFTER LAYING.

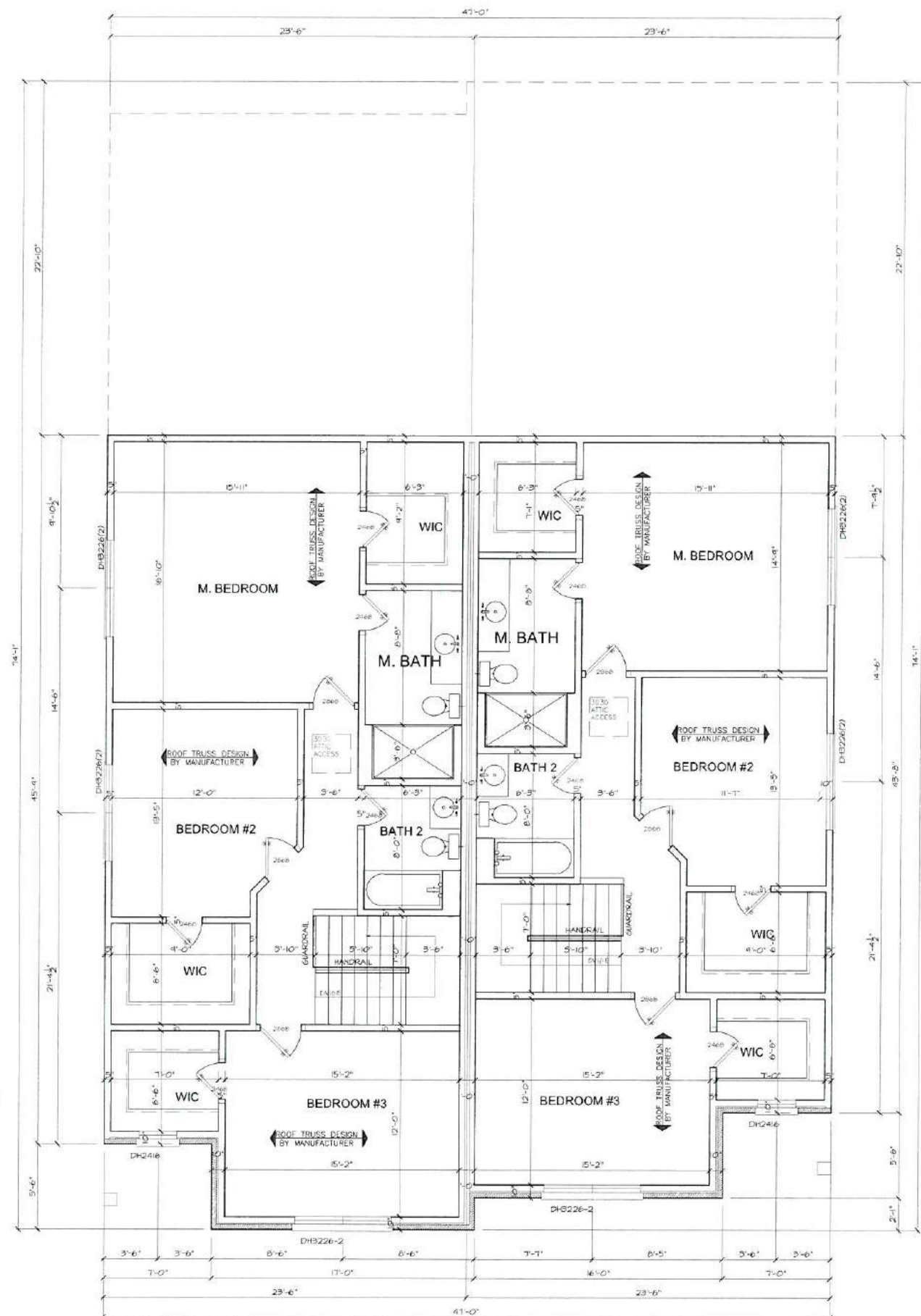
15. SET SILL LEVELS AND MISC. SIZE, IN MASONRY AS INDICATED ON PLANS. PROVIDE IF NECESSARY BRACKS AT EACH END OF SILL.

16. ALL ACCELERATIONS AND ANTIFREEZES IN MORTAR IS NOT PERMITTED.

17. ALL WORK SHALL BE IN ACCORDANCE WITH THE "MASONRY" C-270 AND THE "MASONRY" C-270 INSTITUTE OF AMERICAN GUIDELINES FOR COLD WEATHER MASONRY CONSTRUCTION. TECHNICAL NOTES ON BRICK CONSTRUCTION (1) REWEAVE, JANUARY 1942. MORTAR AND MASONRY CONSTRUCTION, TECHNICAL NOTES ON BRICK CONSTRUCTION (2) REWEAVE, JANUARY 1942. MORTAR AND MASONRY CONSTRUCTION, TECHNICAL NOTES ON BRICK CONSTRUCTION (3) REWEAVE, JANUARY 1942. MORTAR AND MASONRY CONSTRUCTION, TECHNICAL NOTES ON BRICK CONSTRUCTION (4) REWEAVE, JANUARY 1942. MORTAR AND MASONRY CONSTRUCTION, TECHNICAL NOTES ON BRICK CONSTRUCTION (5) REWEAVE, JANUARY 1942. MORTAR AND MASONRY CONSTRUCTION, TECHNICAL NOTES ON BRICK CONSTRUCTION (6) REWEAVE, JANUARY 1942. MORTAR AND MASONRY CONSTRUCTION, TECHNICAL NOTES ON BRICK CONSTRUCTION (7) REWEAVE, JANUARY 1942. MORTAR AND MASONRY CONSTRUCTION, TECHNICAL NOTES ON BRICK CONSTRUCTION (8) REWEAVE, JANUARY 1942. 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NOTE: 1. FOR ROOF FRAMING, REFER TO ROOF PLAN  
2. PROVIDE A MIN. OF (2) 2x12's WITH 1/2" PLYWOOD FLITCH PLATE HEADERS AT ALL 2x4  
FRAME OPENINGS UNLESS OTHERWISE NOTED  
3. PROVIDE LATERAL BRACING IN ALL BEARING AND EXTERIOR WALLS UNLESS NOTED  
OTHERWISE  
4. ALL MATERIAL SELECTIONS AND FINISHES SHALL BE SELECTED BY OWNER  
■ B.P. = BEARING POINT  
■ B.P.A. = BEARING POINT ABV.



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NOTE: SEE PLANS & ELEVATIONS FOR DIRECTION OF OPERABLE DOORS & WINDOWS.

1. IT IS THE RESPONSIBILITY OF BOTH THE GENERAL CONTRACTOR (OR OWNER IF ACTING AS GENERAL CONTRACTOR) AND THE DOOR / WINDOW SUPPLIER TO VERIFY THAT ALL ROUGH / MASONRY OPENINGS AND DIMENSIONS ARE CORRECT AND ADEQUATE FOR THE PROPER INSTALLATION OF ALL DOORS / WINDOWS SUPPLIED.

2. WINDOWS SHALL BE VINYL TYPE MANUFACTURED BY "JELD W" WINDOWS AND SHALL BE OF SIZE AND OPERATION AS INDICATED ON THE DRAWINGS.

3. ANY ADDITIONAL WORK REQUIRED, INCLUDING CAULKING, FINISH AND TRIM, SHALL BE THE RESPONSIBILITY OF THE SUPPLIER. FINISH AND TRIM SHALL BE SPECIFICALLY NOTED, IN WRITING, OF ALTERNATE ARRANGEMENTS.

4. NO ALTERATION TO THE DOORS OR WINDOWS THAT ALTER THE AMOUNT OF LIGHT OR VENTILATION PROVIDED ARE ALLOWED UNLESS APPROVED, IN WRITING, BY THE ARCHITECT. IT IS THE WINDOW SUPPLIER'S RESPONSIBILITY TO PROVIDE LIGHT AND VENTILATION INFORMATION FOR ALL WINDOWS UPON SUBMISSION FOR PROPOSAL.

5. PROVIDE AND INSTALL BLOCKING AND FINISHING AT ALL DOOR AND WINDOW HEADS. BLOCKING TO BE PRESERVATIVE TREATED LVP.

6. ALL GLAZED DOORS, SKYLIGHTS AND ALL GLAZED PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHERE THE SILL OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR, SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.

7. ALL WINDOWS TO BE VINYL WITH THERMAL BREAK WITH 1" INSULATION GLASS.

FLOORS:

WHEN THE FLOOR FINISH IS NOT LAID DIRECTLY ON THE FLOOR SLAB OR BASE, THE SPACE BETWEEN THE FLOOR FINISH AND THE SLAB OR BASE SHALL BE FIRESTOPPED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOOR FINISH WHICH WILL EXCEED 100 SQ. FT. IN AREA. FLOORS CONSTRUCTED OF CONCRETE SHALL BE FIRESTOPPED AT WALLS AND PARTITIONS. ALL FLOORS SHALL BE FIRESTOPPED WHERE OPENINGS THROUGH THE FLOOR OCCUR. WHEN JOISTS RUN PARALLEL TO THE WALL, THE JOIST NEAREST THE WALL SHALL BE TIGHT AGAINST THE WALL.

WAINSCOTTING:

(1) FIRESTOPPING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH HORIZONTAL AND VERTICAL, AND TO PROVIDE AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN THE UPPER STORY AND ROOF SPACE.

(2) IN BUILDINGS OF CONSTRUCTION TYPES IV AND V, ALL STUD PARTITIONS AND WALLS SHALL BE FIRESTOPPED AT THE FLOOR AND CEILING AND AT INTERMEDIATE POINTS AS MAY BE REQUIRED TO LIMIT ANY ENCLOSED SPACE TO 100 SQ. FT. (B) FEET IN HEIGHT. IN BUILDINGS OF CONSTRUCTION TYPES IV AND V, WHERE WALLS ARE FURRED, THE SPACE BETWEEN THE INSIDE OF THE FURRING AND THE FACE OF THE WALL SHALL BE FIRESTOPPED FOR THE FULL DEPTH OF THE COMBUSTIBLE FLOOR OR ROOF JOISTS.

ATTIC SPACES:

IN BUILDINGS OF CONSTRUCTION TYPES IV AND V, ATTIC SPACES SHALL BE SUBDIVIDED INTO AREAS NOT EXCEEDING 3,000 SQ. FT. BY MEANS OF PARTITIONS OF NOT LESS THAN ONE-HALF (1/2) HOUR FIRE RESISTING CONSTRUCTION, TIGHTLY FITTED AROUND DUCTS OR OTHER ASSEMBLIES. PARTITIONS SHALL BE OF INCOMBUSTIBLE CONSTRUCTION OF AFFORD PROTECTION EQUAL TO THE ASSEMBLY IN WHICH THEY EXIST; SUCH DOORS SHALL BE TIGHT FITTING.

STAIRS:

WHEN STAIRS ARE OF COMBUSTIBLE CONSTRUCTION, THE SPACE BETWEEN STAIR STRINGERS SHALL BE FIRESTOPPED AT TOP AND BOTTOM AND AT LEAST ONCE IN THE MIDDLE OF EACH RUN, AND FIRESTOPPING SHALL ALSO BE PROVIDED BETWEEN STUDS OF ADJACENT STAIR PARTITIONS ALONG AND IN LINE WITH THE RUN OF THE STAIRWAY.

OPENINGS IN FLOORS, WALLS AND ROOFS:

ALL VERTICAL OPENINGS THROUGH FLOORS AND CEILINGS NOT SPECIFICALLY MENTIONED ABOVE, SUCH AS SPACES AROUND PIPES, CONDUITS, POWER SHAKING OR DUCTS SHALL BE FIRE-STOPPED. OPENINGS FOR BELTS AND CONVEYORS SHALL BE PROVIDED WITH INCOMBUSTIBLE SLOTTED DOORS OR BE OTHERWISE CLOSED OFF.

CHIMNEYS AND MANTELS:

ALL SPACES BETWEEN CHIMNEYS AND ROOF JOISTS, BEAMS, OR HEADERS SHALL BE FIRE STOPPED BY PLACING INCOMBUSTIBLE MATERIAL TO A DEPTH OF ONE INCH AT THE BOTTOM OF SPACES. ALL SPACES BACK OF COMBUSTIBLE MANTELS SHALL BE FILLED WITH INCOMBUSTIBLE MATERIAL.

ENERGY CODE VALUES

R-48 CEILING

R-20 OR R-13 INSULATION +5

R-10 VAULTED ROOF

R-13 FLOORS

R-15 BASEMENT WALLS

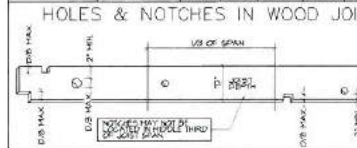
R-10 SLAB PERIMETER

R-20 CRAWL SPACE WALLS

OPENING	SIZES
4'-0"	L 3 1/2" X 3 1/2" X 5/16"
5'-0"	L 3 1/2" X 3 1/2" X 5/16"
6'-0"	L 4" X 3 1/2" X 5/16"
7'-0"	L 4" X 3 1/2" X 5/16"
8'-0"	L 5" X 3 1/2" X 5/16"
9'-0"	L 5" X 3 1/2" X 3/8"
10'-0"	L 6" X 3 1/2" X 3/8"

#### FRAMING NOTES

JOIST SPACING	SPECIES/GRADE	DEAD LOAD = 10 PSF	DEAD LOAD = 20 PSF
12 O.C.	HEM FIR #2	13-2	16-10
12 O.C.	SPF #2	13-6	17-3
16 O.C.	HEM FIR #2	12-0	15-2
16 O.C.	SPF #2	12-10	16-1
12 O.C.	HEM FIR #2	14-0	18-6
12 O.C.	SPF #2	14-11	19-0
16 O.C.	HEM FIR #2	13-2	16-10
16 O.C.	SPF #2	14-2	18-0



#### ENERGY NOTES:

-A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. CERTIFICATE SHALL BE COMPLETED BY THE BUILDER, AND SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES.

-ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

-NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.

-WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE AT LEAST ON THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70 F AND A COOLING TEMPERATURE NO LOWER THAN 78 F.

-SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8.

-ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION MFG 4.1 OF IRC.

-BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS.

-BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR BECKING.

-THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.

-CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.

-KNEE WALLS SHALL BE SEALED.

-RECESSED LIGHTING INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LIGHT FIXTURES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LIGHTING SHALL BE GASKET OR CALKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVER.

-INSULATION FOR HOT WATER PIPES WITH A MINIMUM THERMAL RESISTANCE OF R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING LARGER THAN 2"
2. PIPING SERVING MORE THAN ONE DWELLING UNIT
3. PIPING FROM THE WATER HEATER TO KITCHEN DOWNS
4. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
5. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
6. PIPING LOCATED UNDER A FLOOR SLAB
7. BURIED PIPING
8. SUPPLY AND RETURN PIPING IN RECIRCULATING SYSTEMS
9. PIPING WITH RUN LENGTHS GREATER THAN THE MAXIMUM RUN LENGTHS FOR THE NOMINAL PIPE GIVEN:  $R = 30'$ ,  $T = 20'$ ,  $T = 10'$ ,  $R = 5'$

#### LUMBER BASE VALUES

JOISTS - SPACE-FRAME NO. 1/N2 OR BETTER.  
F=875g.s.i., Fv=700g.s.i., E=1,400,000g.s.i.

JOISTS - HEADERS AND BEAMS - HEM-FRONT NO. 1/N2 OR BETTER.  
F=1000g.s.i., Fv=750g.s.i., E=1,400,000g.s.i.

STUDS (10'-0" AND LESS IN HEIGHT) - STUDS SPACE S-P-F OR BETTER.  
F=875g.s.i., Fv=700g.s.i., E=1,400,000g.s.i.

STUDS GREATER THAN 10'-0" IN HEIGHT - S-P-F NO. 1/N2 OR BETTER.  
F=875g.s.i., Fv=700g.s.i., E=1,400,000g.s.i.

POSTS AND TREATED LUMBER - SOUTHERN-PINE NO. 2 OR BETTER.  
F=1000g.s.i., Fv=750g.s.i., E=1,400,000g.s.i.

LAMINATED STRUCTURAL WOOD BEAMS (CLIP-LAM BEAMS)  
F=2,400g.s.i., Fv=1500g.s.i., E=1,900,000g.s.i.

ALL FRAMING MEMBERS DESIGNATED AS "K" SHALL BE LBE R-P LUM.  
BY GRADE PROOF OR BETTER.  
F=2,600g.s.i., Fv=1500g.s.i., E=1,900,000g.s.i.

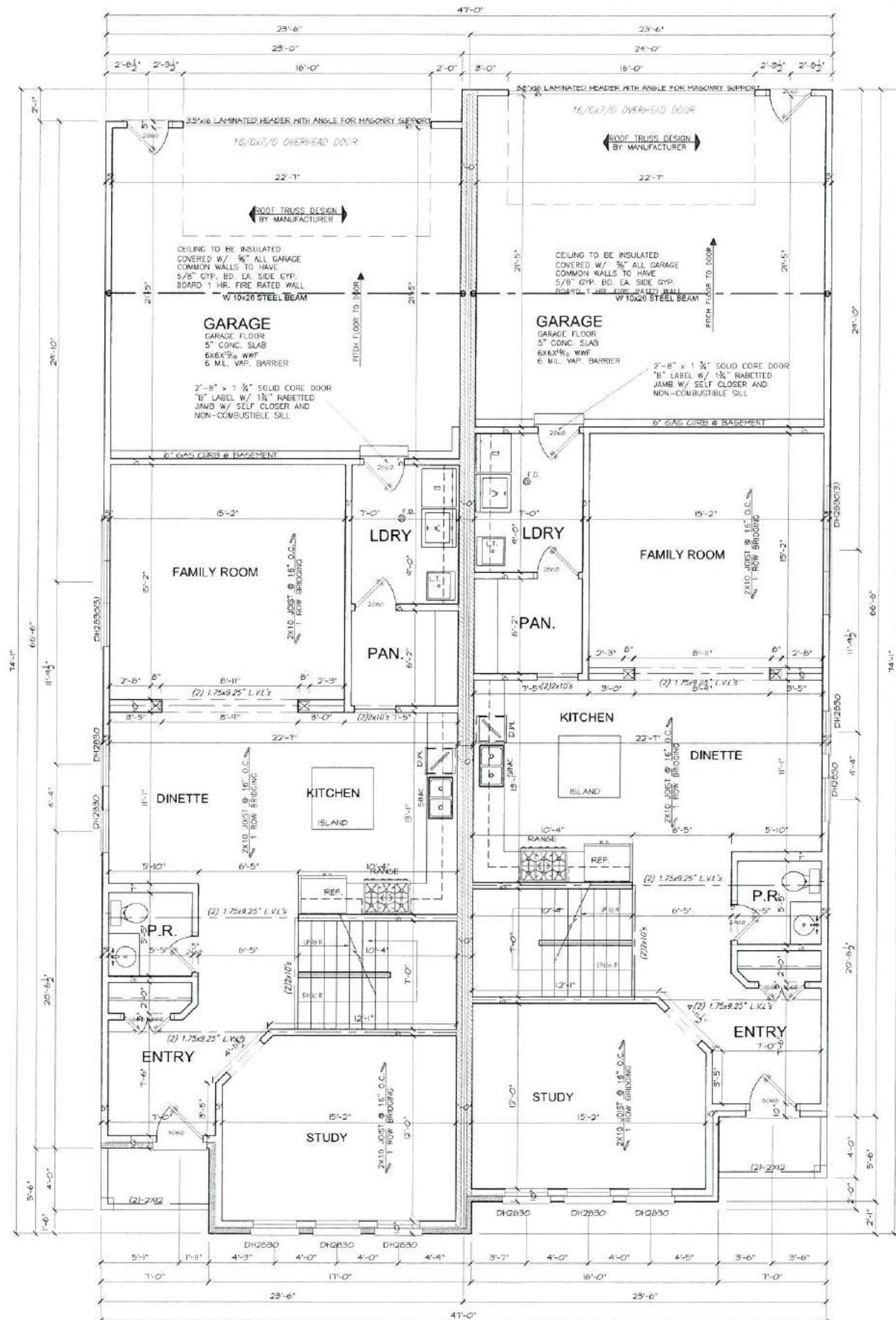
JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MIN. OF 3 INCHES AND BE NAILED TOGETHER WITH A MIN. THREE (3) NAILS.

#### FIRST FLOOR PLAN

NOTE:

1. FOR ROOF FRAMING, REFER TO TO ROOF PLAN.
2. PROVIDE A MIN. OF (2) 2x12's WITH 1/2" PLYWOOD FLUTCH PLATE HEADERS AT ALL 2x4 FRAMED OPENINGS UNLESS OTHERWISE NOTED.
3. PROVIDE LATERAL BLOCKING IN ALL BEARING AND EXTERIOR WALLS UNLESS NOTED OTHERWISE.
4. ALL MATERIAL SELECTIONS AND FINISHES SHALL BE SELECTED BY OWNER.

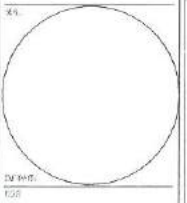
■ B.P. = BEARING POINT  
■ B.P.A. = BEARING POINT ADJ.



IJM Group, Inc.  
"Coexisting with the Future in Mind"

Ph: 708-404-4451

Two-Story Townhomes  
230 S Cass Ave.  
Westmont, IL

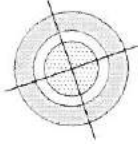


11.18.2014

2013-158

A-2.1





# PRELIMINARY PLAT OF SUBDIVISION

MORRISON SURVEYING CO., INC.

8719 N. IL. Rt. 47, Morris, Illinois 60450  
Phone (815) 942-2020 or FAX (815) 941-2020



## ELLIOTT ESTATES

### CERTIFICATE OF OWNERSHIP & SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS ) SS  
COUNTY OF DUPAGE )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS(ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND HAS(HAVE) CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN BY THE PLAT FOR USES AND PURPOSES AS INDICATED THEREIN, AND DOES(DO) HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. FURTHERMORE, PURSUANT TO SECTION 1.005 OF THE PLAT ACT, 765 ILCS 205, THIS DOCUMENT SHALL SERVE AS THE SCHOOL DISTRICT STATEMENT. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE TRACT OF LAND DESCRIBED IN THE ATTACHED PLAT LIES IN THE FOLLOWING SCHOOL DISTRICT(S):

SCHOOL DISTRICT NAME AND ADDRESS

(SCHOOL DISTRICT NAME AND ADDRESS)

(SCHOOL DISTRICT NAME AND ADDRESS)

DATED AT, ILLINOIS, THIS DAY OF, .

SIGNATURE OF OWNER OF TRACT (SIGNATURE OF OWNER OF TRACT)

### CERTIFICATE OF PLANNING & ZONING COMMISSION

STATE OF ILLINOIS ) SS  
COUNTY OF DUPAGE )

I, \_\_\_\_\_, CHAIRMAN OF THE VILLAGE OF WESTMONT, PLANNING & ZONING COMMISSION, CERTIFY THAT ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION.

ATTEST:

CHAIRMAN SECRETARY

### SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS ) SS  
COUNTY OF DUPAGE )

I, \_\_\_\_\_, EXECUTIVE DIRECTOR FOR THE \_\_\_\_\_ DISTRICT, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT.

DATED AT, ILLINOIS, THIS DAY OF \_\_\_\_\_

EXECUTIVE DIRECTOR

### VILLAGE CLERK CERTIFICATE

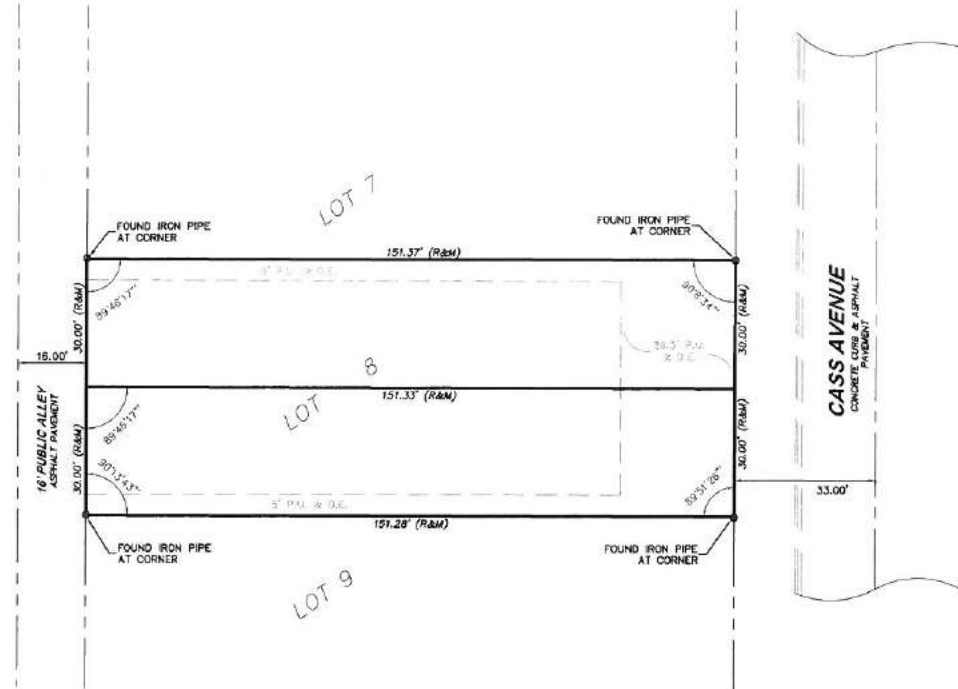
STATE OF ILLINOIS ) SS  
COUNTY OF DUPAGE )

I, \_\_\_\_\_, VILLAGE CLERK OF THE VILLAGE OF WESTMONT, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON \_\_\_\_\_ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE.

IN WITNESS WHEREOF I HAVE HERETO SET MY HAND AND SEAL OF THE VILLAGE OF WESTMONT, ILLINOIS, THIS DAY OF, .

VILLAGE CLERK

BEING A RE-SUBDIVISION OF LOT 8 IN BLOCK 15 IN WESTMONT, BEING A SUBDIVISION BY ARTHUR T. MCINTOSH AND COMPANY OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.  
PIN# 09-09-421-018



### VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS ) SS  
COUNTY OF DUPAGE )

I, \_\_\_\_\_, VILLAGE ENGINEER OF THE VILLAGE OF WESTMONT, ILLINOIS, HEREBY CERTIFY THAT THE IMPROVEMENTS DESCRIBED IN THIS PLAT AND THE PLANS AND SPECIFICATIONS THEREFOR MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT WESTMONT, DU PAGE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

VILLAGE ENGINEER

### NOTARY PUBLIC

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

WHO IS(ARE) PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) (THEY) SIGNED AND DELIVERED THE SAID INSTRUMENTS AS HIS (HER) (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR \_\_\_\_\_

NOTARY PUBLIC

COMMISSION EXPIRES

### PROFESSIONAL SURVEYORS CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, MATTHEW MORRISON, REGISTERED ILLINOIS PROFESSIONAL SURVEYOR, HEREBY STATE THAT I HAVE HAD THIS PLAT PREPARED FROM EXISTING PLATS AND RECORD FOR THE PURPOSE OF EASEMENT GRANT. I ALSO CERTIFY THAT THESE LOTS LIE WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF WESTMONT, WHICH HAS ADOPTED A MUNICIPAL PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY ARTICLE II, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED, DATED IN WESTMONT, ILLINOIS THIS 8TH DAY OF APRIL, A.D., 2016.

BY: *Matthew Morrison*  
REGISTERED ILLINOIS PROFESSIONAL SURVEYOR # 35-3735



### LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- EASEMENT LINE
- BUILDING SETBACK LINE
- PROPOSED PROPERTY LINE
- ORIGINAL PROPERTY LINE
- EXISTING FLOODPLAIN

### PROPERTY ADDRESS

230 S. CASS AVENUE  
WESTMONT, IL

### EX. PROPERTY P.I.N. NUMBER

09-09-421-018

### LOT 1 PIN #

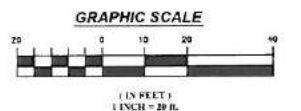
### LOT 2 PIN #

### NOTE:

RETURN TO:  
VILLAGE OF WESTMONT  
MUNICIPAL SERVICES  
31 W. QUINCY STREET  
WESTMONT, IL 60559

### AREA OF SUBDIVISION

9,079.43 SQUARE FEET, 0.21 ACRES



Compare All Dimensions Before Building And Report Any Discrepancies At Once. For Builders Use. Easements and other restrictions not shown herein refer to your Deed, Title Policy, zoning ordinance, etc.

ORDERED BY: ELLIOTT CARPENTRY  
SCALE: 1"=20' JOB NO. 13-182

State of Illinois  
County of Dupage ) s.s.  
We, MORRISON SURVEYING CO. INC., (PDF License #84-003915) do hereby certify that we have surveyed the property described in the caption to this plat herein drawn and that this professional service conforms to the current Illinois minimum standards for a boundary survey. All dimensions are to feet and decimal parts of a foot and are correct at a temperature of 68 degrees Fahrenheit. Dimensions shown on buildings are to the outside of buildings. Draw under my hand and seal of Morris, Illinois. Date: 4/09/16  
*Matthew Morrison*  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3735 License Expires 11/30/18



### PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WESTMONT, ILLINOIS AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF WESTMONT, INCLUDING, BUT NOT LIMITED TO, COMED, SBC, NICOR, AND COMCAST, AND (FLAGG CREEK RECLAMATION DISTRICT OR DOWNERS GROVE SANITARY DISTRICT) AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, OVER ALL OF THE AREAS MARKED "PUBLIC UTILITY AND DRAINAGE EASEMENT" OR MARKED "P.U. & D.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, OPERATE, AND REMOVE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, INCLUDING ELECTRICITY, SOUNDS AND SIGNALS, GAS PIPELINES, WATER PIPELINES, STORM AND SANITARY SEWERS, AND STORMWATER DRAINAGE PATHS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY, OVER, UPON, ALONG, UNDER, AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY AS NECESSARY. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE ANY TREES, ROOTS, SHRUBS, OR OTHER PLANTS ON SAID INDICATED EASEMENTS, AS MAY REASONABLY BE REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, THAT INTERFERE WITH THE OPERATION OF THE DRAINAGE PATH OR UTILITY, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES.

NO PERMANENT BUILDINGS OR OBSTRUCTIONS SHALL BE PLACED ON SAID INDICATED EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF SAID EASEMENT SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. WHERE SAID INDICATED EASEMENTS ARE USED BOTH FOR DRAINAGE, SEWERS, AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION(S) SHALL BE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF WESTMONT.

### STORMWATER DETENTION EASEMENT PROVISIONS

ALL EASEMENTS INDICATED AS STORMWATER DETENTION EASEMENTS ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF WESTMONT FOR THE BENEFIT OF THE PUBLIC. NO PERMANENT BUILDINGS OR OTHER OBSTRUCTIONS SHALL BE PLACED ON SAID EASEMENT BUT THE SAME MAY BE USED FOR PURPOSES THAT DO NOT ADVERSELY AFFECT THE STORAGE OR FREE FLOW OF STORMWATER AND THE OPERATION OF THE STORMWATER MANAGEMENT SYSTEM. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATHS AND STORMWATER DETENTION APPLICABLE TO HIS LOT AND SHALL NOT MODIFY GRADES, SLOPES, OR STORMWATER MANAGEMENT FACILITIES WITHOUT HAVING FIRST RECEIVED PRIOR WRITTEN APPROVAL OF THE VILLAGE OF WESTMONT. IN THE EVENT THE OWNER FAILS TO PROPERLY MAINTAIN THE DRAINAGE OR STORMWATER DETENTION AREA EASEMENTS, THE VILLAGE OF WESTMONT AND ANY OTHER UNIT OF GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ON THE SUBJECT PROPERTY AND ANY OWNER OF RECORD OF THE REAL ESTATE (OR PART THEREOF) SHALL, UPON TEN (10) DAYS PRIOR WRITTEN NOTICE, HAVE THE RIGHT TO PERFORM, OR HAVE PERFORMED ON ITS OR THEIR BEHALF, ANY MAINTENANCE WORK TO OR UPON THE STORMWATER DETENTION AREA WHICH IS REASONABLY NECESSARY TO INSURE ADEQUATE STORMWATER STORAGE AND FREE FLOW OF STORM WATER THROUGH THE DETENTION EASEMENT AREA. IN THE EVENT THAT THE VILLAGE OF WESTMONT OR ANY OTHER UNIT OF GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ON THE SUBJECT PROPERTY OR ANY OWNER OF RECORD OF THE REAL ESTATE (OR PART THEREOF), SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED ON ITS OR THEIR BEHALF, ANY MAINTENANCE WORK TO OR UPON THE DRAINAGE OR STORMWATER DETENTION AREA EASEMENT, THE EXPENSE THEREOF, INCLUDING ANY ADMINISTRATIVE COSTS, SHALL UPON RECDORDATION OF A NOTICE OF LIEN WITHIN SIXTY (60) DAYS OF COMPLETION OF THE WORK, CONSTITUTE A LIEN AGAINST HIS LOT WHICH MAY BE FORECLOSED BY ANY ACTION BROUGHT BY OR ON BEHALF OF THE VILLAGE OF WESTMONT AND/OR OTHER UNIT OF GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ON THE SUBJECT PROPERTY AND/OR ANY OWNER OF RECORD OF THE REAL ESTATE (OR PART THEREOF).